



BODE RAINIER

9367 RAINIER AVE S, SEATTLE, WA 98118


SDCI # 3038509-LU MASTER USE PERMIT

PARCEL NUMBER NO 712930-4500




OWNER / APPLICANT

PROJECT S38 LLC
18605 17TH AVE NW
SHORELINE, WA 98177




GEOTECH

PANGEO INC
3213 EASTLAKE AVE. EAST
SEATTLE, WA 98102




CIVIL

NAVIX ENGINEERING
11235 SE 6TH STREET, SUITE 150
BELLEVUE, WA 98004
JOE TAFLIN P.E., LEED AP



LANDSCAPE ARCHITECT

GHA LANDSCAPE ARCHITECTS
1417 NE 80TH
SEATTLE, WA 98115
NEIL BUCHANAN



ENVIRONMENTAL

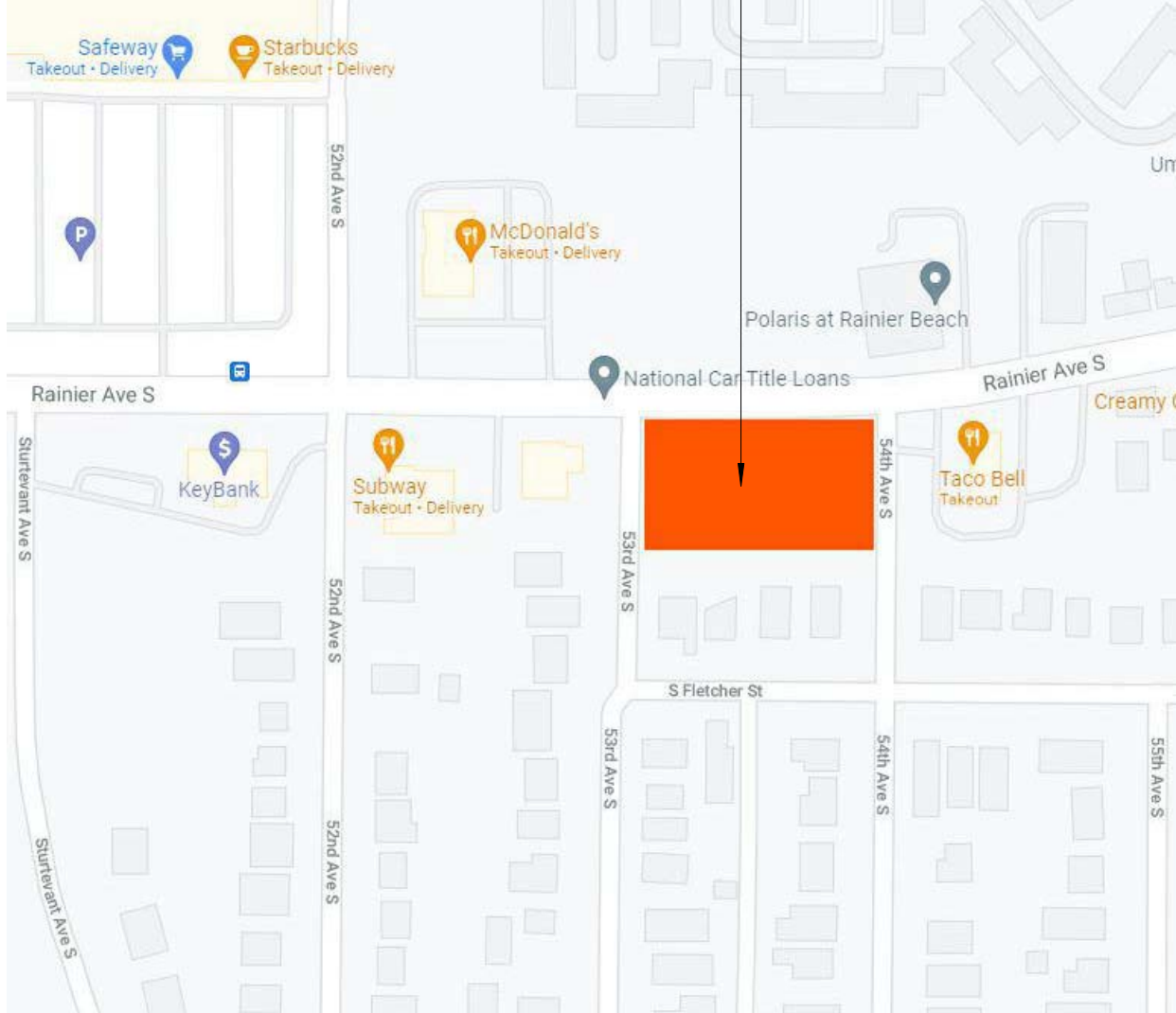
DIXON ENVIRONMENTAL SERVICES
4010 NORTH 7TH STREET
TACOMA, WA 98406
BRIAN A. DIXON

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT WILL INCLUDE SIX LEVELS OF AFFORDABLE MULTI-FAMILY RESIDENTIAL SPACE WITH APPROXIMATELY 19,800 SF GROSS FLOOR AREA PER FLOOR AND 100,024 GSF TOTAL. PROVIDING 181 RESIDENTIAL UNITS AND 10 LIVE/WORK UNITS. NO PROPOSED PARKING AS PERMITTED BY ZONING.

- DEFERRED SUBMITTALS**
- FIRE SPRINKLER SYSTEM
 - FIRE ALARM SYSTEM
 - ENGINEERED WOOD JOISTS AND BEAMS
 - CONCRETE POST - TENSIONING
 - ELEVATOR SUPPORT SYSTEMS
 - EMERGENCY RESPONDER RADIO SYSTEMS

VICINITY MAP



PROJECT LOCATION
9367 RAINIER AVE S,
SEATTLE, WA 98118

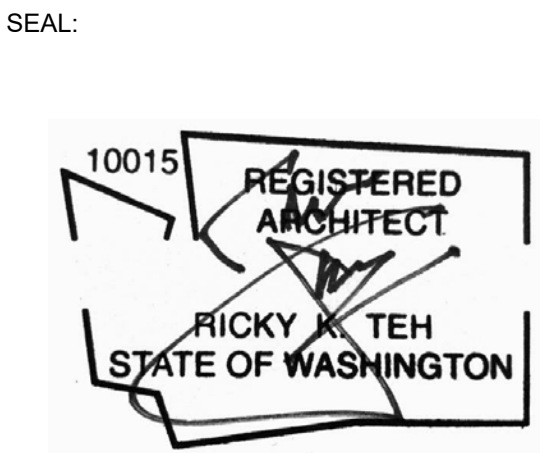


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S38 BODE RAINIER
RESIDENTIAL APARTMENT

ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
3038509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE



SDCI APPROVAL STAMP:

COVER SHEET

DATE	REVISION
ISSUE DATE	
PROJECT NUMBER	SHEET NUMBER
3038509LU	
SCALE	CS

PROJECT INFORMATION

PROJECT ADDRESS	9367 RAINIER AVE S, SEATTLE,WA,98118
PARCEL NUMBER	712930-4500
LEGAL DESCRIPTION PER SURVEY	RAINIER BEACH ADD & POR VAC ALLEY ADJ TGW WEST 5.00 FT OF 54TH AVE SOUTH VAC UNDER VOL 14 PAGE 247
PARCEL AREA	24,188 SF, 0.56 ACRES
ZONING	NC2-55 (M)
HEIGHT LIMIT	55 FT
OVERLAY	NO
PARKING FLEXIBILITY	NO PROPOSED PARKING
HISTORIC LANDMARK	NO
INFILTRATION EVAL. NOT REQ	YES
AUTOMATIC SPRINKLER	YES

APPLICABLE BUILDING CODES

BUILDING CODE	-2015 SEATTLE BUILDING CODE (SBC) -2015 SEATTLE RESIDENTIAL CODE (SRC) -SEATTLE MUNICIPAL CODE (SMC) ver JULY 8, 2020
FIRE CODE	-2015 INTERNATIONAL BUILDING FIRE CODE (IFC)
MECHANICAL CODE	-2015 INTERNATIONAL MECHANICAL CODE (IMC)
PLUMBING CODE	-2015 UNIFORM PLUMBING CODE (UPC)
ELECTRICAL CODE	-2014 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) + PART 1 AND PART 3 -2009 WASHIINGTON CITES ELECTRICAL CODE
ENERGY CODE	-2015 SEATTLE ENERGY CODE
ACCESSIBILITY CODE	-AMERICANS WITH DISABILITIES ACT 2010 [ADA] -FAIR HOUSING ACT [FHA] -2009 ICC A117.1



SHEET INDEX



NUMBER	SHEET NAME	SET RELEASE	SET RELEASE 2	SET RELEASE 3
00 GENERAL				
CS	COVER SHEET			
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G0.05	STRUCTURE HEIGHT			
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G0.07	SETBACKS			
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2	SURVEY			
02 CIVIL				
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A3.03	BUILDING ELEVATIONS			
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A4.03	BUILDING SECTIONS			
A4.04	BUILDING SECTIONS			
A4.05	BUILDING SECTIONS			

				COMM.	RESIDENTIAL									AMENITY			PARKING / B.O.H.				
LEVEL	USE	BUILDING AREA	FAR	GROSS	GROSS	CIRC.		UNIT COUNT						INDOOR	OUTDOOR	TOTAL AMENITY	BICYCLE			MECH/ ELEC	TRASH
								STU.	1BR	2BR	3BR	LIVE/WORK	TOTAL				LT	ST	TOTAL		
ROOF	RESIDENTIAL		152			183									2,310	2,310					
LEVEL 6	RESIDENTIAL	11,998	14,826			2,661		21	6	6			33								
LEVEL 5	RESIDENTIAL	11,998	14,826			2,661		21	6	6			33								
LEVEL 4	RESIDENTIAL	11,998	14,826			2,661		21	6	6			33		5,061	5,061					
LEVEL 3	RESIDENTIAL	15,761	19,148			2,975		14	14	6	2		36								128
LEVEL 2	RESIDENTIAL	10,565	15,878	2,566		3,075		14	5	3	2		24								873
LEVEL 1	LIVE-WORK / RESID.	3,065	10,915	5,409		1,652		14	2	3	2	12	33	858	1,810	2,668	192	10	202	701	
TOTAL		65,385	90,571	7,975		15,868		105	39	30	6	12	192	858	9,181	10,039					

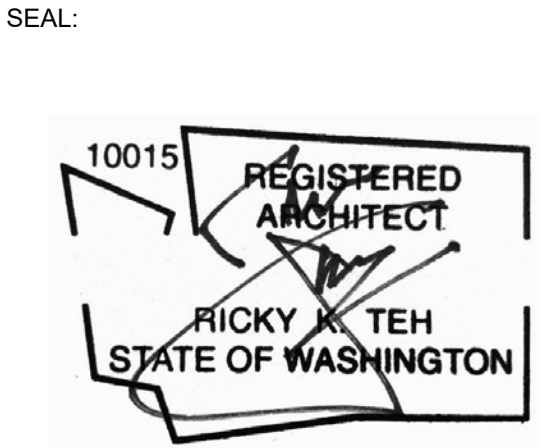


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SHEET INDEX

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PROJECT NUMBER	SHEET NUMBER
3038509LU	
SCALE	G0.01
12" = 1'-0"	

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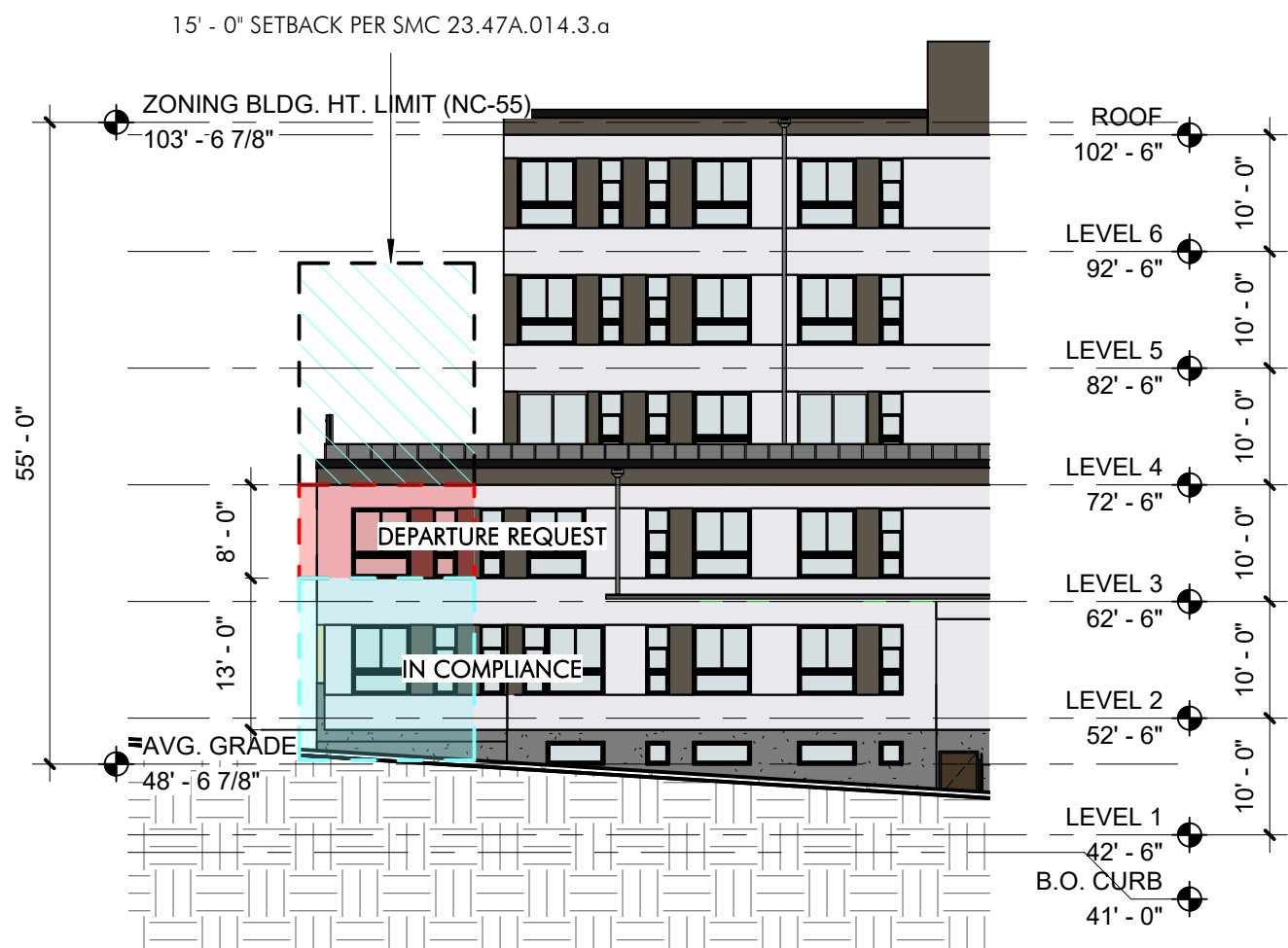
SECTION	SMC SECTION	DESCRIPTION	COMPLIANT	REQUIRED	PROVIDED	COMMENT
PERMITTED USES	23.47A.004	TABLE A G.4	Live / Work, Residential	Live / Work, Residential	Live / Work, Residential	
STREET-LEVEL DEVELOPMENT STANDARDS	23.47A.008.A.2 Blank Facades	b	Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width	MAX. Blank Facade Length: 84.93' (40%)	Blank Facade Length = 61'-7" (29%)	See Sheet G0.04 (For Calculations and diagrams)
		c	The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street	MAX. Blank Facade Area: 509.6 SF (64%)	Blank Facade Area = 370 SF (29%)	
	23.47A.005.B.2 Transparency	a	Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. For purposes of calculating the 60 percent of a structure's street-facing facade, the width of a driveway at street level, not to exceed 22 feet, may be subtracted from the width of the street-facing facade if the access cannot be provided from an alley or from a street that is not a designated principal pedestrian street	MIN. Transparency Length: 127.40' (60%)	Transparency Length = 150'-9" (71%)	
		b	Transparent areas of facades shall be designed and maintained to provide views into and out of the structure. Except for institutional uses, no permanent signage, window tinting or treatments, shelving, other furnishings, fixtures, equipment, or stored items shall completely block views into and out of the structure between 4 feet and 7 feet above adjacent grade	MIN. Transparency Area: 764.44 SF (60%)	Transparency Area = 905 SF (71%)	
	23.47A.008.B.3 Depth Provisions	a	Non-residential uses greater than 600 square feet shall extend an average depth of at least 30 feet Depth Provisions and a minimum depth of 15 feet from the street-level	AVG. Depth: 30' MIN. Total Depth: 15' MIN.	AVG. Depth= 31.016'	See Sheet G0.03 (For Calculations and diagrams)
	23.47A.008.B.4 Height Provisions		Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet	MIN Height: 13'	Height= 20'	
	23.47A.008.E Live-work at Street-Level	1	The portion of each such live-work unit in which business is conducted must be a minimum of 300 live-work square feet and must be located between the street and the residential portion of the live-work. Street-Level unit. The non-residential portions of the unit shall extend the width of the street-level, street-facing facade, shall extend a minimum depth of 15 feet from the street-level, street-facing facade, and shall not contain any of the primary features of the residential (live) portion of the live-work unit, such as kitchen, sleeping, or laundry facilities, or bathrooms containing a shower or bathtub. These basic residential features shall be designed and arranged to be separated from the work portion of the live-work unit by a physical divider such as a wall or partition	MIN. Area: 300 SF	Area = 642 SF	
		2	Each live-work unit must have a pedestrian entry on the street-facing facade that is designed to be visually prominent and provide direct access to the non-residential portions of the unit		Pedestrian Entry	Pedestrian Entry
		3	Each live-work unit must include an exterior sign with the name of the business associated with the live-work unit. Such signage shall be clearly associated with the unit and visible to pedestrians outside of the building	Visible Signage	Visible Signage	
		4	The owner of each live-work unit must keep a copy of the current business license associated with the business located in that unit on file			
STRUCTURE HEIGHT	23.47A.012.C Rooftop Features	4	Except as provided below, the following rooftop features may extend up to 15 feet above the Height Rooftop applicable height limit, as long as the combined total coverage of all features gaining additional Features height listed in this subsection 23.47.A.012.C.4, including weather protection such as eaves or canopies extending from rooftop features, does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment: a. Solar collectors; b. Mechanical Equipment: 5. Stair and elevator penthouses may extend above the applicable height limit up to 16 feet	MAX Height: 15' MAX Height Stair /Elevator: 16' MAX Combined Total Coverage: 20% of Roof Area 25% of Roof Area if Including Stair/ Elevator Penthouses / Mechanical Equipment	Height= 15' Coverage: 25% of Roof Area	
FLOOR AREA RATIO	23.47A.013	TABLE A	Maximum FAR: 3.75	MAX FAR: 90,705 GSF 3.75	FAR = 90,673 GSF 3.74	See Sheet G0.06 (For Calculations and diagrams)
	23.47A.013.B		The following gross floor area is not counted toward FAR:			
		2	All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access			
		7	The floor area of required bicycle parking for small efficiency dwelling units or congregate residence sleeping rooms, if the bicycle parking is located within the structure containing the small efficiency dwelling units or congregate residence sleeping rooms. Floor area of bicycle parking that is provided beyond the required bicycle parking is not exempt from FAR limits			
SETBACK REQUIREMENTS	23.47A.07.3.E	TABLE C	Minimum FAR: 2			
	23.47A.014.B	1	A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone or a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects these two sides with a diagonal line across the commercially zoned lot	Front : 0' Rear : 0' Side : 0'	Front : 1'-3" - 11'-10" Rear : 0'-2" / 10'-11" Side : West : 8'-9" / 13'-6" East : 7'-2" / 19' - 1"	See Sheet G0.06 (For Calculations and diagrams)
		2	An upper-level setback is required along any rear or side lot line that abuts a lot in an LR, MR, or HR zone or that abuts a lot that is zoned both commercial and LR, MR, or HR if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot, as follows: a. Ten feet for portions of structures above 13 feet in height to a maximum of 65 feet	Upper Levels 13' Setback	Requested Departure	See Requested Departure
		3	An upper-level setback is required along any rear or side lot line that abuts a lot in a single-family zone, that is across an alley from a lot in a single-family zone, or that abuts a lot that is zoned both commercial and single-family if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot as follows : a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and b. For each portion of a structure above 40 feet in height, additional setback at the rate of 3 feet offsetback for every 1.0 feet by which the height of such portion exceeds 40 feet			
LANDSCAPING AND SCREENING STANDARDS	23.47A.016.A	2	Landscaping that achieves a Green Factor score of 0.3 or greater, pursuant to Section 23.86.013, and Screening is required for any lot with: Standard a. Development containing more than four new dwelling units; or b. Development, either a new structure or an addition to an existing structure, containing more than 4,000 new square feet of non-residential uses, or C. Any parking lot containing more than 20 new parking spaces for automobiles	MIN Green Factor : 0.3	Green Factor : 0.41	See Sheet L1.2 & L1.3 (For Calculations and diagrams)
	23.47A.016.B	1	Street trees are required when any development is proposed Existing street trees shall be retained unless the Director of Transportation approves their removal. The Director, in consultation with the Director of Transportation, will determine the number, type and placement of street trees to be provided	Street Trees Required per SDOT	Street Trees Provided	See Sheet L1.1 (For Schedule)
ODOR STANDARDS	23.47A.020	A	The venting of odors, vapors, smoke, cinders, dust, gas, and fumes shall be at least 10 feet above finished sidewalk grade, and directed away to the extent possible from uses within 50 feet of the vent			
LIGHT AND GLARE STANDARDS	23.47A.022	A	Exterior lighting must be shielded and directed away from adjacent uses			See Sheet A1.081 (For Note)
AMENITY AREA	23.47A.024.A		Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A. Gross floor area, for the purposes of this subsection 23.47A.024.A, excludes areas used for mechanical equipment and accessory parking. For the purposes of this subsection 23.47A.024.A, bioretention facilities qualify as amenity areas	MIN. Amenity Areas: 4,528 GSF (5.00%)	Amenity Areas: 6,059 (6.6%)	See Sheet G0.08 (For Calculations and diagrams)
	23.47A024.B		Required amenity areas shall meet the following standards, as applicable:			
		1	All residents shall have access to at least one common or private amenity area			
		2	Amenity areas shall not be enclosed			
		3	Parking areas, vehicular access easements, and driveways do not qualify as amenity areas, except that a woonseil may provide a maximum of 50 percent of the amenity area if the design of the woonseil is approved through a design review process pursuant to Design Review			
		4	Common amenity areas shall have a minimum horizontal dimension of :10 feet, and no common amenity area shall be less than 250 square feet in size			
		5	Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet			
PARKING LOCATION AND ACCESS	23.47A.032.A Access to Parking	1.c	If access is not provided from an alley and the lot abuts two or more streets, access is permitted cross one of the side street lot lines pursuant to subsection 23.47A.032.C, and curb cuts are permitted pursuant to subsection 23.54.030.F.2.a.1.	Not Applicable	Not Applicable	No parking required per SMC 23.54.015 Table B
		3	In C1 and C2 zones, access to off-street parking may be from a street, alley, or both when the lot abuts an alley. However, structures in C zones with residential uses, structures in C zones with pedestrian designations, and structures in C zones across the street from residential zones shall meet the requirements for parking access for NC zones as provided in subsection 23.47A.032.A.1	Not Applicable		
	23.47A032.C		When a lot fronts on two or more streets, the Director will determine which of the streets will be considered the front lot line, for purposes of this section only	Not Applicable		
BICYCLE PARKING	23.54.015	Table A	D. Live-Work Units: 0 spaces for units with 1,500 square feet or less			
		Table B	M. All residential uses within urban villages that are not within urban center / the station overlay district, if the residential use is located within a frequent transit service area	MIN. Long Term Parking: 192 (1 per dwelling unit)	Long Term Parking: 192	See Sheet A2.04 (For Calculations and Location)
		Table B Bicycle	D.2. Multi-family: (Long-Table D term) 1 per dwelling unit, (Short-term) 1 per 20 dwelling units	MIN. Short Term Parking: 10 (1 per 20 dwelling units)	Short Term Parking: 10	
SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	23.54.040	Table A	Shared Storage Space for Solid Waste Containers for Residential 575 sf + 4 sf for each additional unit above 100 dwelling units	MIN. Storage Space: 977 SF	Storage Space: 1,752 SF	See Sheet A2.01 (For Calculations and Location)
		C	For development with more than 100 dwelling units, the required minimum area for storage spacemay be reduced by 15 percent, if the area provided as storage space has a minimum horizontal dimension of 20 feet			

1 SMC CODE ANALYSIS

MANDATORY HOUSING IN C AND NC ZONES	23.47A.017		C and NC Zones with a mandatory housing affordability suffix are subject to the provisions of Chapter 23.58B and 23.58C.			Payment Calculation : \$7.00	Payment Amount = \$674,401.00	See Sheet G0.06 (For Calculations and diagrams) "
AFFORDABLE HOUSING FOR RESIDENTIAL DEVELOPMENT	23.58C.030	A.1.b	If the applicant elects the performance option, the number of units required to be provided according to subsection 23.58C.050 A, the amount of any cash contribution according to subsection 23.58C.050 A.3.b, and a proposal for units that meet the requirements according to subsection 23.58C.050 C, and			Performance Calculation : 5.00% Units	Performance Amount = 10 units	
		A.2.b	If the applicant elects to comply with this Chapter 23.58C through the performance option according to Section 23.58C.050, the number of units that shall meet the requirements according to subsection 23.58C.050 C, the amount of any cash contribution according to subsection 23.58C.050 A.3.b, and the compliance of the proposal required according to subsection 23.58C.030 A.1.b with the requirements according to subsection 23.58C.050 C, and					
	23.58C.050	Table 8	Zones with an (L) suffix: Low - 5.0%					
	23.58C.050.C	1	Distribution. Units provided through the performance option shall be generally distributed throughout each structure in the development containing units					
		2	Comparability Units provided through the performance option shall be comparable to the other units to be developed					
		3	Eligible households. Units provided through the performance option shall serve only a. At initial occupancy by a household;1) For a rental unit with net unit area of 400 square feet or less, households with incomes no greater than 40 percent of median income;2) For a rental unit with net unit area of greater than 400 square feet, households with incomes no greater than 60 percent of median income;3) For an ownership unit, households with incomes no greater than 80 percent of median income, and that meet a reasonable limit on assets. The Director of Housing shall establish by rule the method to establish a reasonable limit on assets					
		6	Additional requirements for rental units provided through the performance option a. Rent levels b. Limitation on charges c. Annual certification, third party verification d. Reporting e. Annual fee f. Over-income households; unit substitution g. Maintenance, insurance h. Casualty i. If a rental unit provided through the performance option is destroyed or rendered unfit for occupancy by casualty that does not affect all of the other units in the development to which this Chapter 23.58C applies, the owner of the development shall, through the process according to subsection 23.58C.030.A.6, designate a comparable substitute rental unit within the development, as approved by the Director of Housing, as soon as such a unit becomes available, which the tenant household of the unit affected by casualty shall be allowed to move into, and upon such designation the requirements according to this subsection 23.58C.050 C shall transfer to the substitute unit. 2) If all of the units in the development to which this Chapter 23.58C applies are substantially destroyed by casualty, including by earthquake or fire, the requirements according to this subsection 23.58C.050.C shall terminate					

DEPARTURE 1

SMC	23.47A.014.B.3
DESCRIPTION	Upper Level Setback
REQUIRED	Upper level setback of 15' for portions of the structure exceeding 13' in height
DEPARTURE REQUEST	Waive a 784 sq portion of the building exceeds the 13' height limit for the 15' horizontal setback at the abutting residential zone. The project proposes that the modulation of the 13' height setback aligns with the massing break of the upper level instead of stepping the length of the building down.
RATIONALE	Departure results in a design which better responds to the neighborhood and better meets the design guidelines CS2-D height, bulk, and scale and CS2-C full block sites
BOARD GUIDANCE	The Board indicated willingness to approve the departure request



EAST - ELEVATION - DEPARTURE

1/16" = 1'-0"



SOUTH - ELEVATION - DEPARTURE

1/16" = 1'-0"



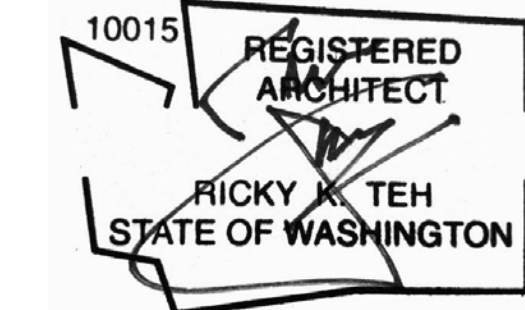
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DEVELOPMENT + DESIGN: BODE

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SEAL:



SDCI APPROVAL STAMP:

CODE ANALYSIS / DEPARTURE

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE As indicated	G0.02



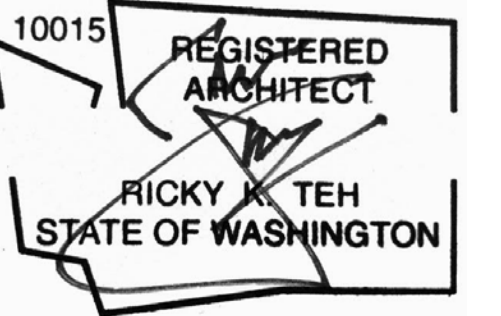
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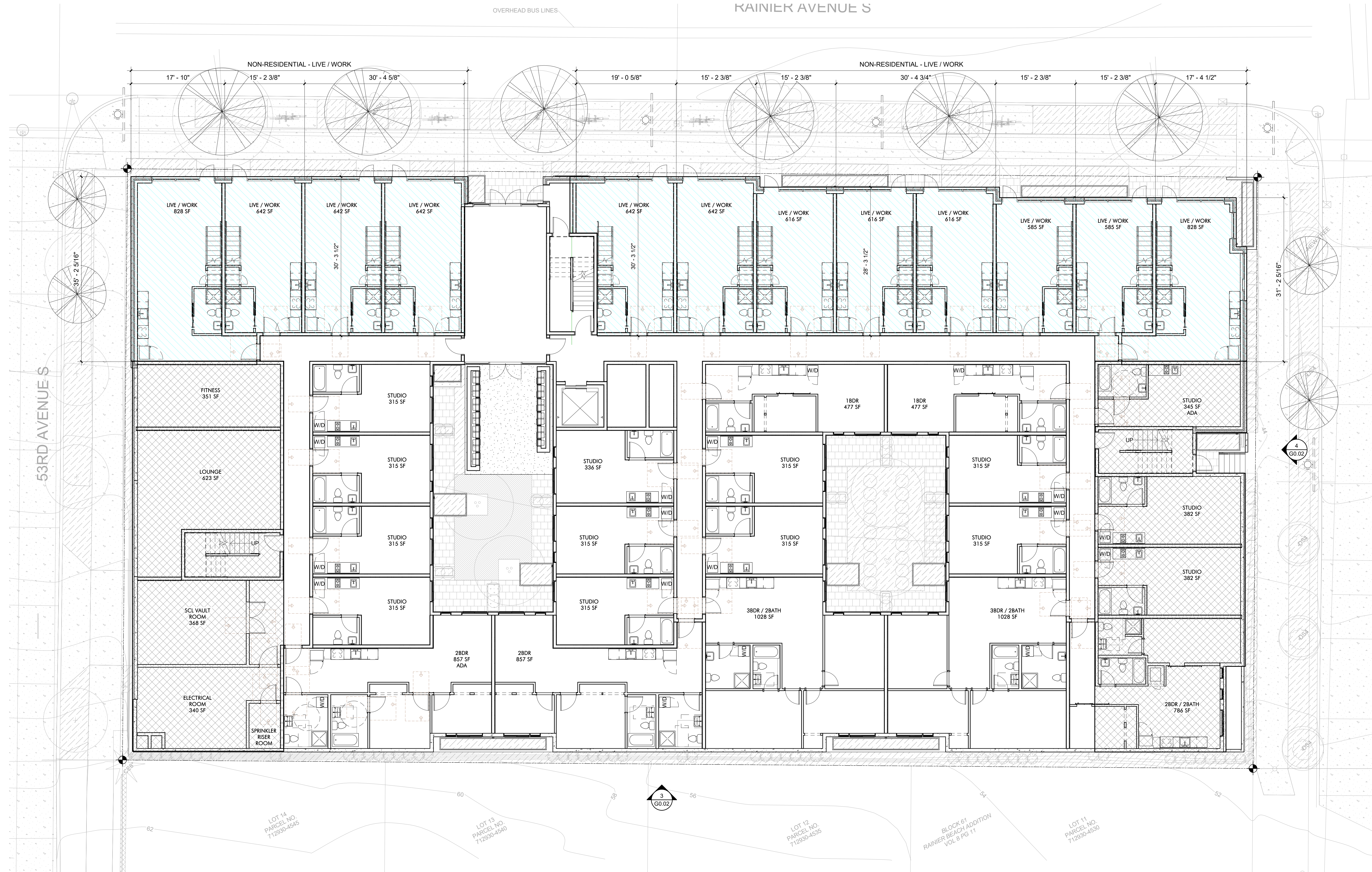
REAL:



DCI APPROVAL STAMP:

STREET LEVEL USES

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE As indicated	G0.03



1 LEVEL 1 - STREET LEVEL USES

1/8" = 1'-0"

STREET LEVEL USE:

SMC 23.47A.008.B.3

AVERAGE DEPTH FOR NON-RESIDENTIAL USE

$$= 31'-2'' + 28'-3'' + 30'-3'' + 30'-3'' + 35'-2'' = 155' - 1''$$

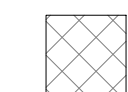
$$= \frac{155' - 1''}{5} = 31.016' = 31' - 0 \frac{1}{32}''$$

AVERAGE DEPTH = 31.016' = 31' - 0 1/32"

GEN. NOTES - STREET LEVEL

1. SMC 23.47A.005
PRINCIPAL PEDESTRIAN STREET - RAINIER AVE SOUTH
- SMC 23.47A.008
1. BLANK FACADES - 40%
2. NON-RESIDENTIAL REQ'S
3. DEPTH PROVISIONS - AVERAGE DEPTH 30'-0", MINIMUM DEPTH 15'-0"
4. TRANSPARENCY - 60%

LEGEND - STREET USE



RESIDENTIAL

COMMERCIAL
LIVE / WORK



1 NORTH ELEVATION - BLANK FACADE



2 NORTH ELEVATION - TRANSPARENCY

STREET LEVEL USE:

SMC 23.47A.008.B.2

TRANSPARENCY

NORTH ELEVATION TOTAL FACADE AREA = 1274.06 SF

NORTH " TOTAL TRANSPARENCY AREA = 904.49 SF = $\frac{904.49 \text{ SF}}{1274.06 \text{ SF}}$ = 0.709 = **71%**

NORTH " TOTAL FACADE LENGTH = 212' - 4"

NORTH " TOTAL TRANSPARENCY LENGTH = 150' - 9"

MIN. TRANSPARENCY REQ. (60%) = 764.44 SQ. FT MIN. LENGTH ALLOWED (60%) = 127.40'

TRANSPARENCY PROPOSED (71%) = 905 SQ. FT **LENGTH PROPOSED (71%) = 150' - 9"**

STREET LEVEL USE:

SMC 23.47A.008.A.2

BLANK FACADES

NORTH ELEVATION TOTAL FACADE AREA = 1274.06 SF

NORTH " TOTAL BLANK FACADE AREA = $342 \text{ SF} + 28 \text{ SF} = \frac{370 \text{ SF}}{1274.06 \text{ SF}} = 0.29 = \underline{\underline{29\%}}$

NORTH " TOTAL FACADE LENGTH = 212' - 4"

NORTH " TOTAL BLANK FACADE LENGTH = 61' - 7"

MAX. BLANK FACADE REQ. (40%) = 509.6 SQ. FT MAX. LENGTH ALLOWED (40%) = 84.93'

BLANK FACADE PROPOSED (29%) = 370 SQ. FT LENGTH PROPOSED (29%) = 61' - 7"

GEN. NOTES - STREET LEVEL

1. SMC 23.47A.005
PRINCIPAL PEDESTRIAN STREET - RAINIER AVE SOUTH
- SMC 23.47A.008
1. BLANK FACADES - 40%
2. NON-RESIDENTIAL REQ'S
3. DEPTH PROVISIONS - AVERAGE DEPTH 30'-0", MINIMUM DEPTH 15'-0"
4. TRANSPARENCY - 60%

LEGEND - STREET FACADE

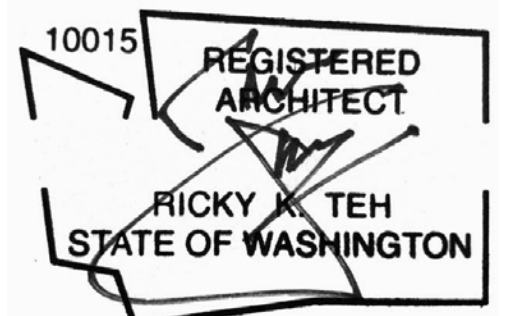
 BLANK WALL TRANSPARENCY

S38 BODE RAINIER
RESIDENTIAL APARTMENT

ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
30308509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

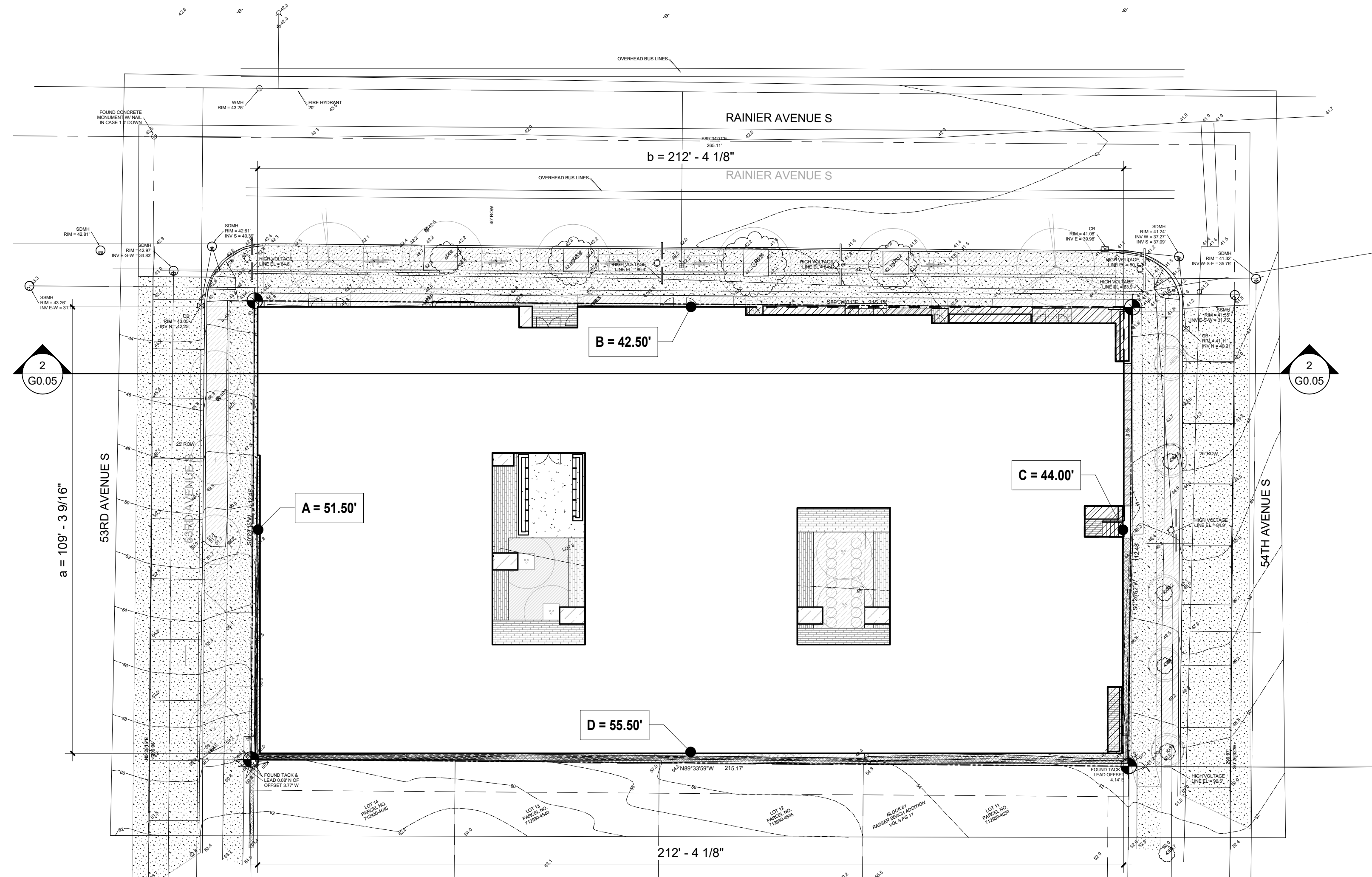
SEAL:



SDCI APPROVAL STAMP:

BLANK FACADE /
TRANSPARENCY

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE As indicated	G0.04



1 ALLOWABLE BUILDING HEIGHT PLAN
1" = 20'-0"



2 ALLOWABLE BUILDING HEIGHT SECTION
1" = 20'-0"

STRUCTURE HEIGHT:

SMC 23.47A.012 / FORMULA 2 TECHNIQUE

AVERAGE GRADE LEVEL CALCULATION

MIDPOINT ELEVATION	RECTANGLE SIDE LENGTH
A = 51.50'	a = 109' - 3 9/16"
B = 42.50'	b = 212' - 4 1/8"
C = 44.00'	c = 109' - 3 9/16"
D = 55.50'	d = 212' - 4 1/8"

$$\frac{(A \times a) + (B \times b) + (C \times c) + (D \times d)}{(a) + (b) + (c) + (d)} = \text{AVERAGE GRADE LEVEL}$$

$$\frac{(51.50' \times 109' - 3 \frac{9}{16}'') + (42.50' \times 212' - 4 \frac{1}{8}'') + (44.00' \times 109' - 3 \frac{9}{16}'') + (55.50' \times 212' - 4 \frac{1}{8}'')}{(109' - 3 \frac{9}{16}'') + (212' - 4 \frac{1}{8}'') + (109' - 3 \frac{9}{16}'') + (212' - 4 \frac{1}{8}'')}$$

$$\frac{(5628.80') + (9024.61') + (4809.06') + (11785.08')}{643' - 3 \frac{3}{8}''}$$

$$= \frac{31,247.55 \text{ SF}}{643.28'} = 48.5753'$$

$$\text{AVERAGE GRADE LEVEL} = 48.5753' = 48' - 6 \frac{7}{8}''$$

GEN. NOTES - STRUCTURE HEIGHT

- SMC 23.47A.012
1. ROOFTOP FEATURES
2. SOLAR COLLECTORS
3. ROOFTOP FEATURES LOCATION



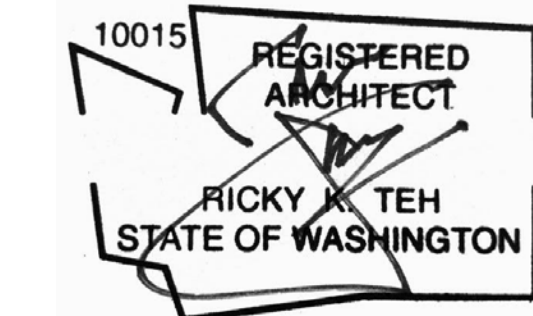
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3038509LU
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SEAL:



SDCI APPROVAL STAMP:

STRUCTURE HEIGHT

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE As Indicated	G0.05

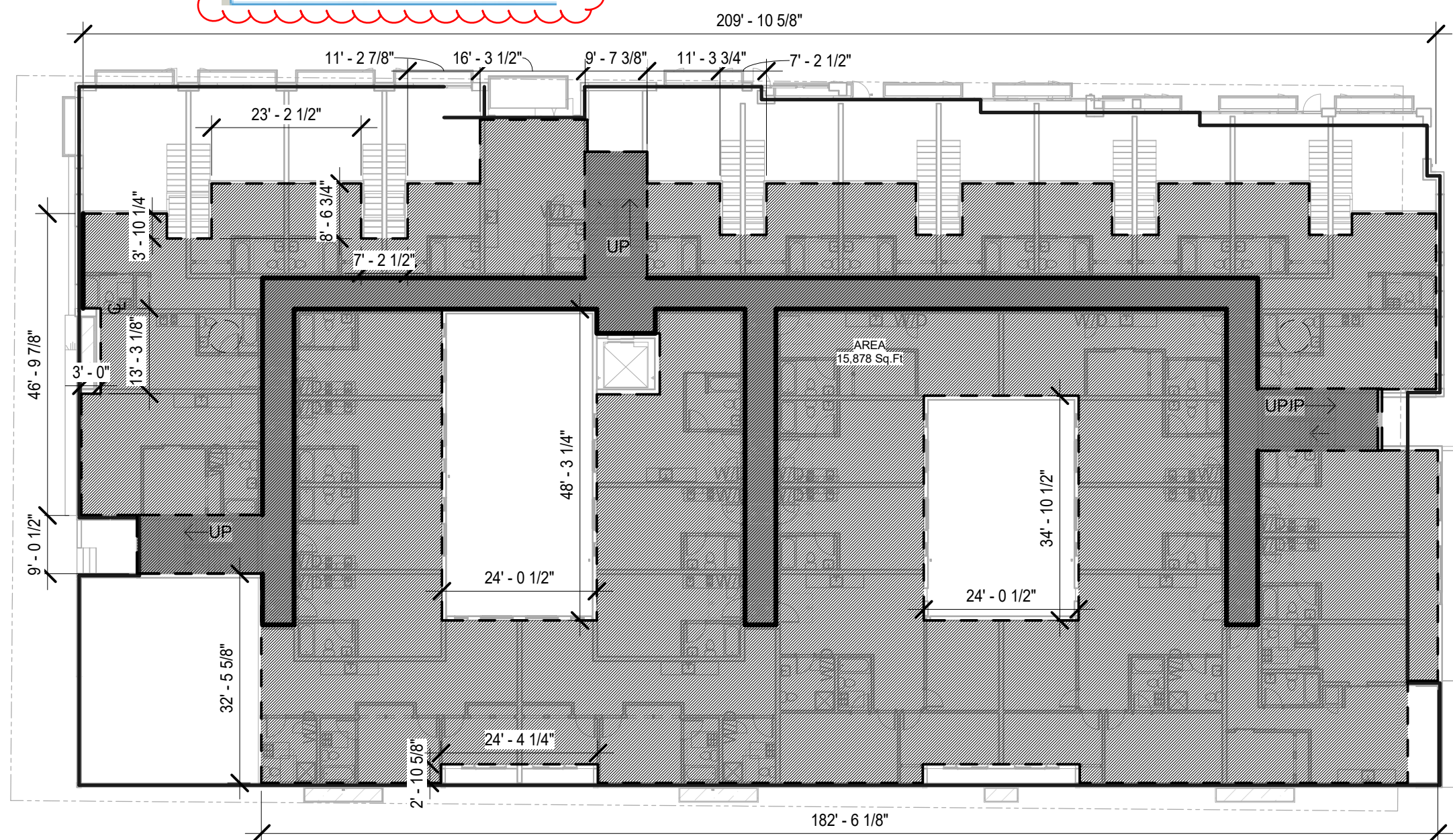


1 LEVEL 1 - AREA PLAN

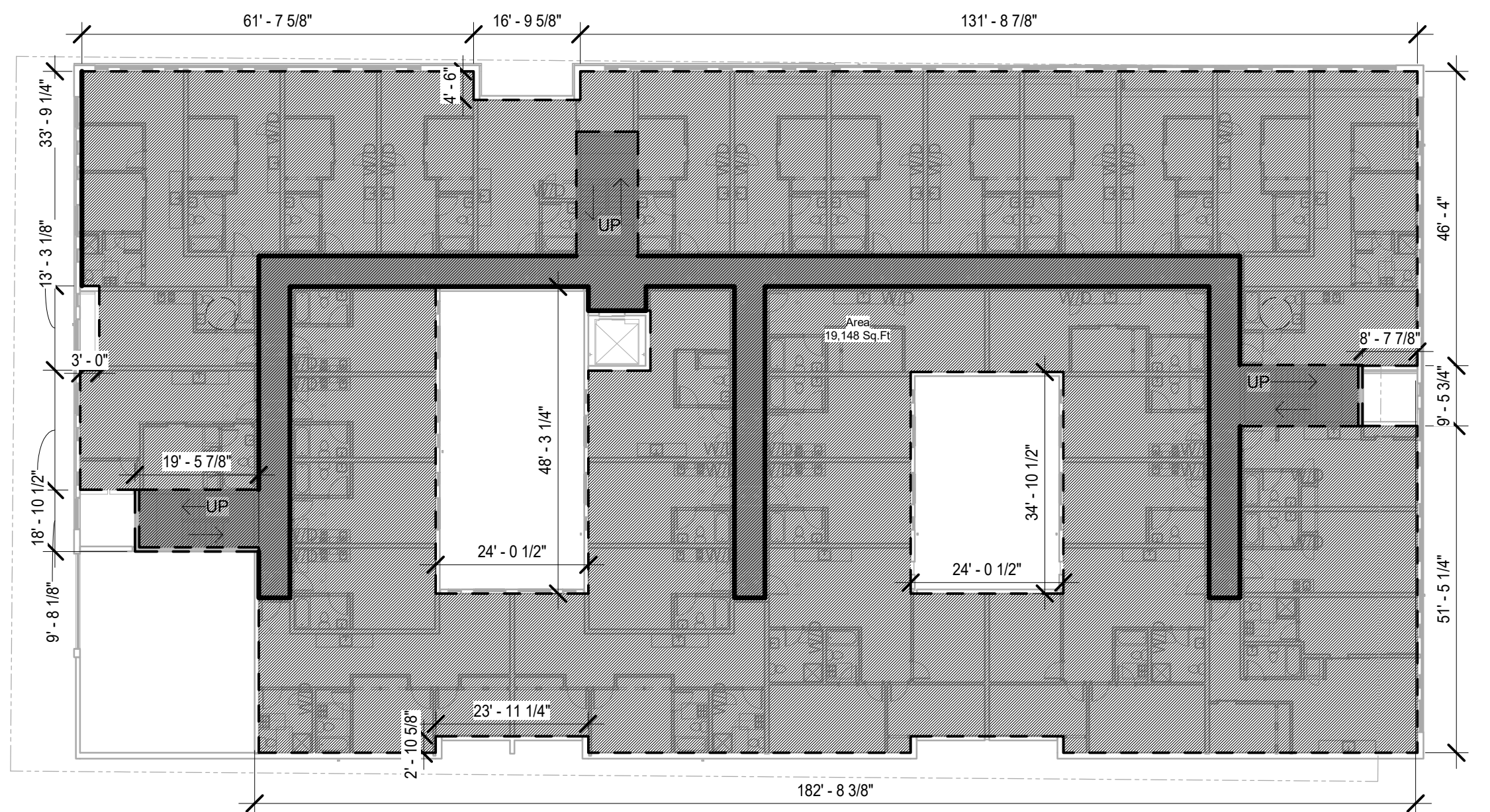


FAR CALCULATION - LEVEL 1		
LABEL	LENGTH	WIDTH
A	116.000'	50.500'
B	178.781'	61.000'
C	148.187'	18.000'
TOTAL FAR AREA		15,113

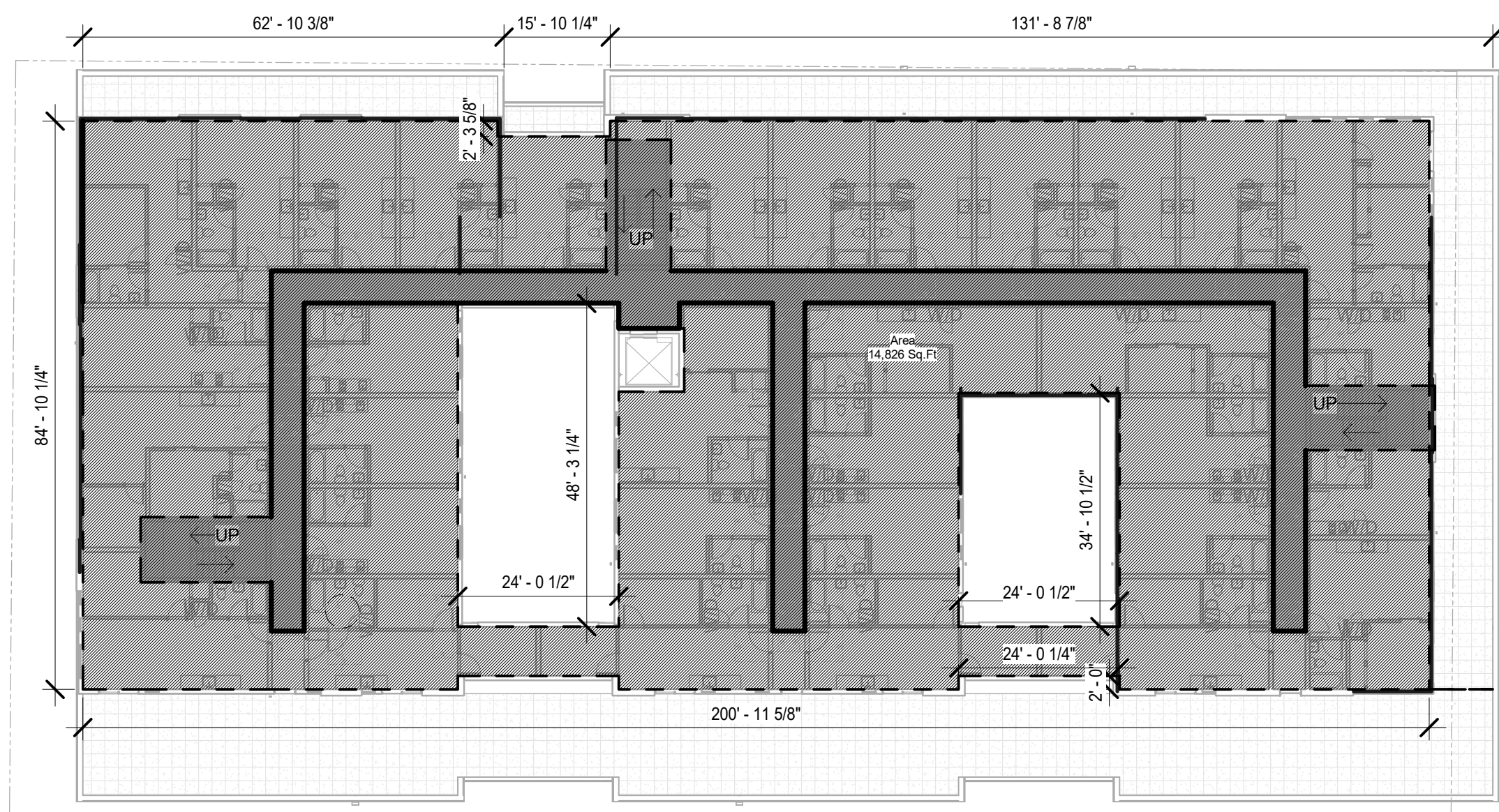
Example of Matrix to provide for each floor level.



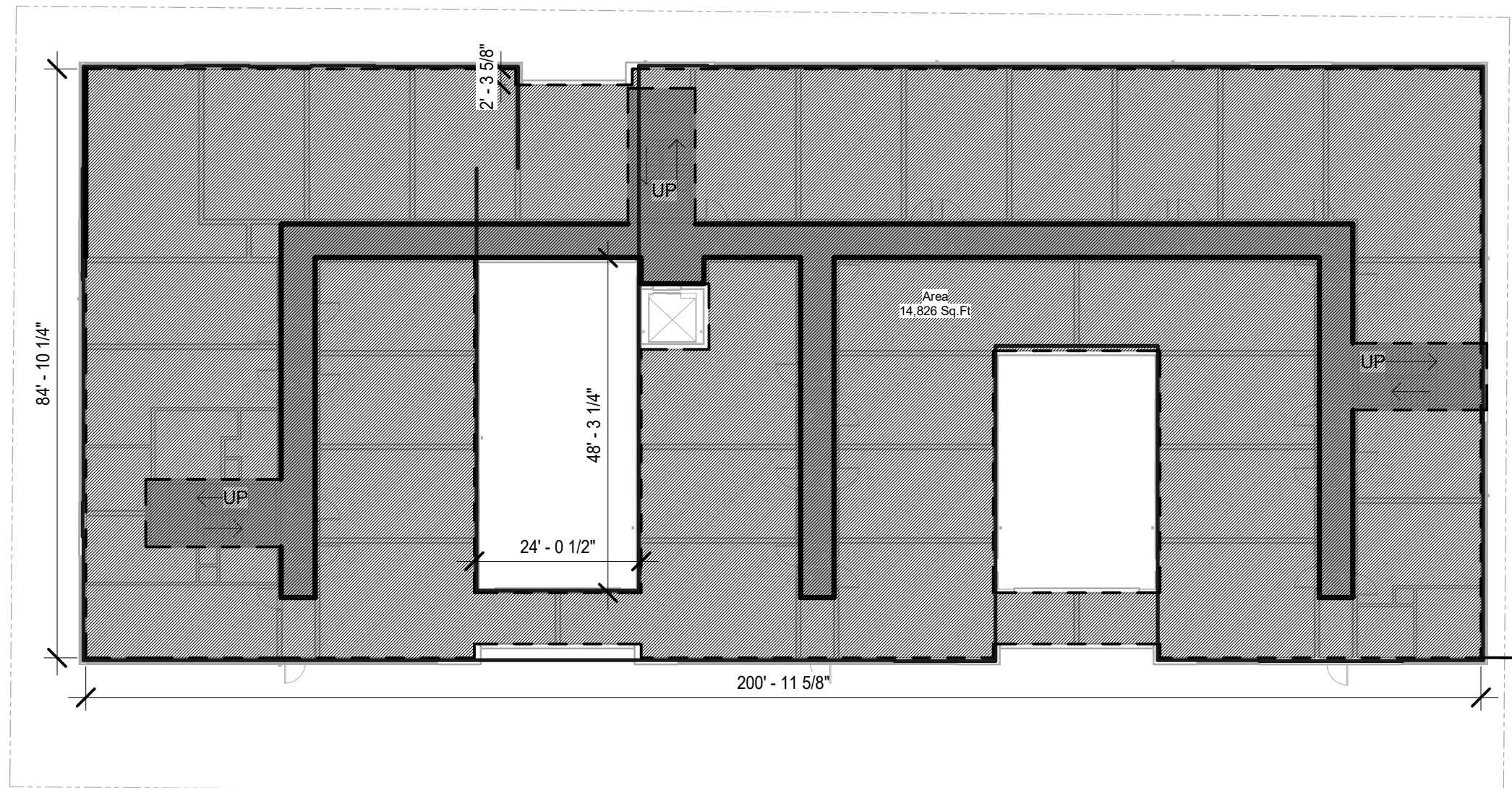
2 LEVEL 2 - AREA PLAN



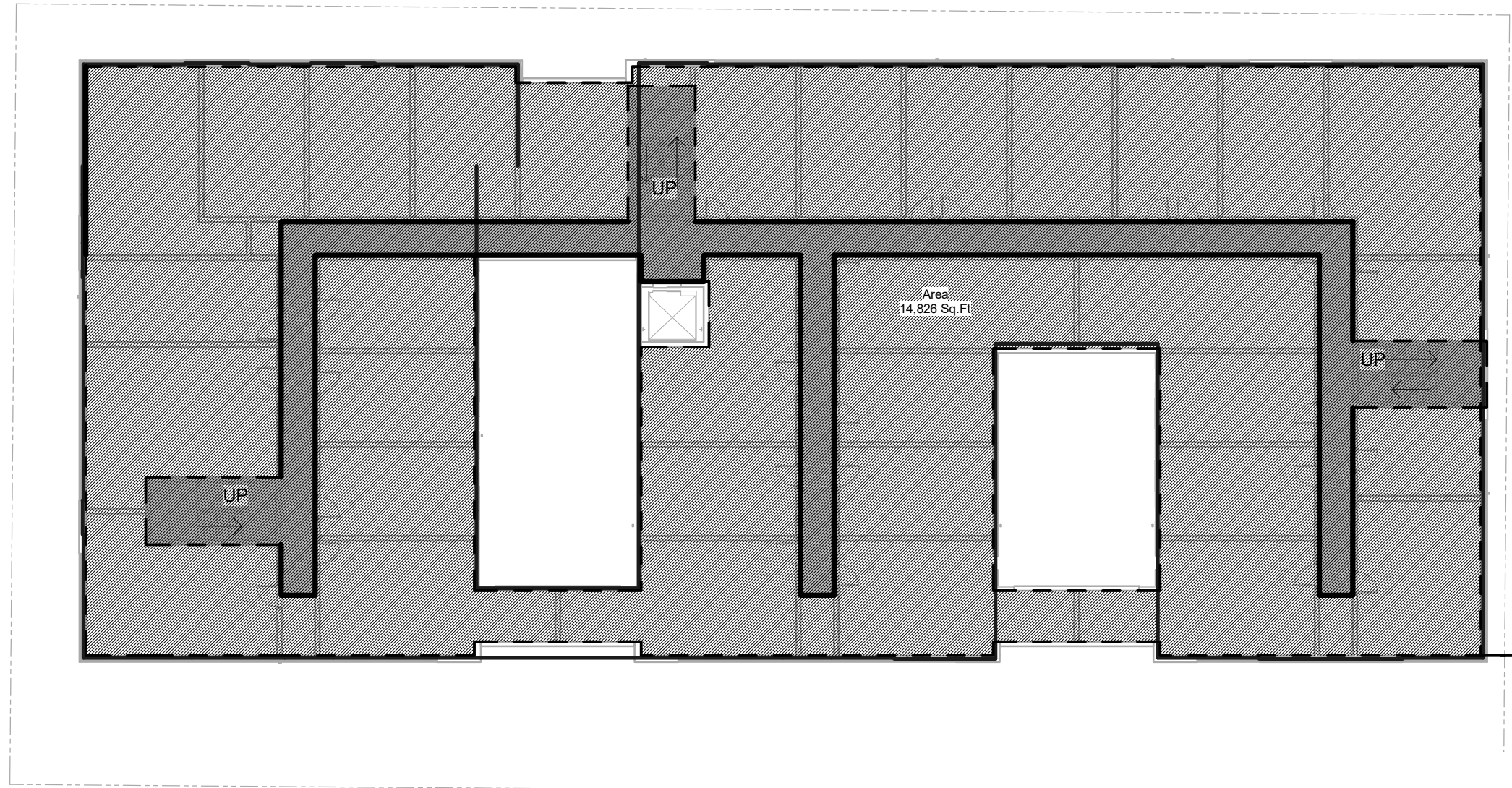
3 LEVEL 3 - AREA PLAN



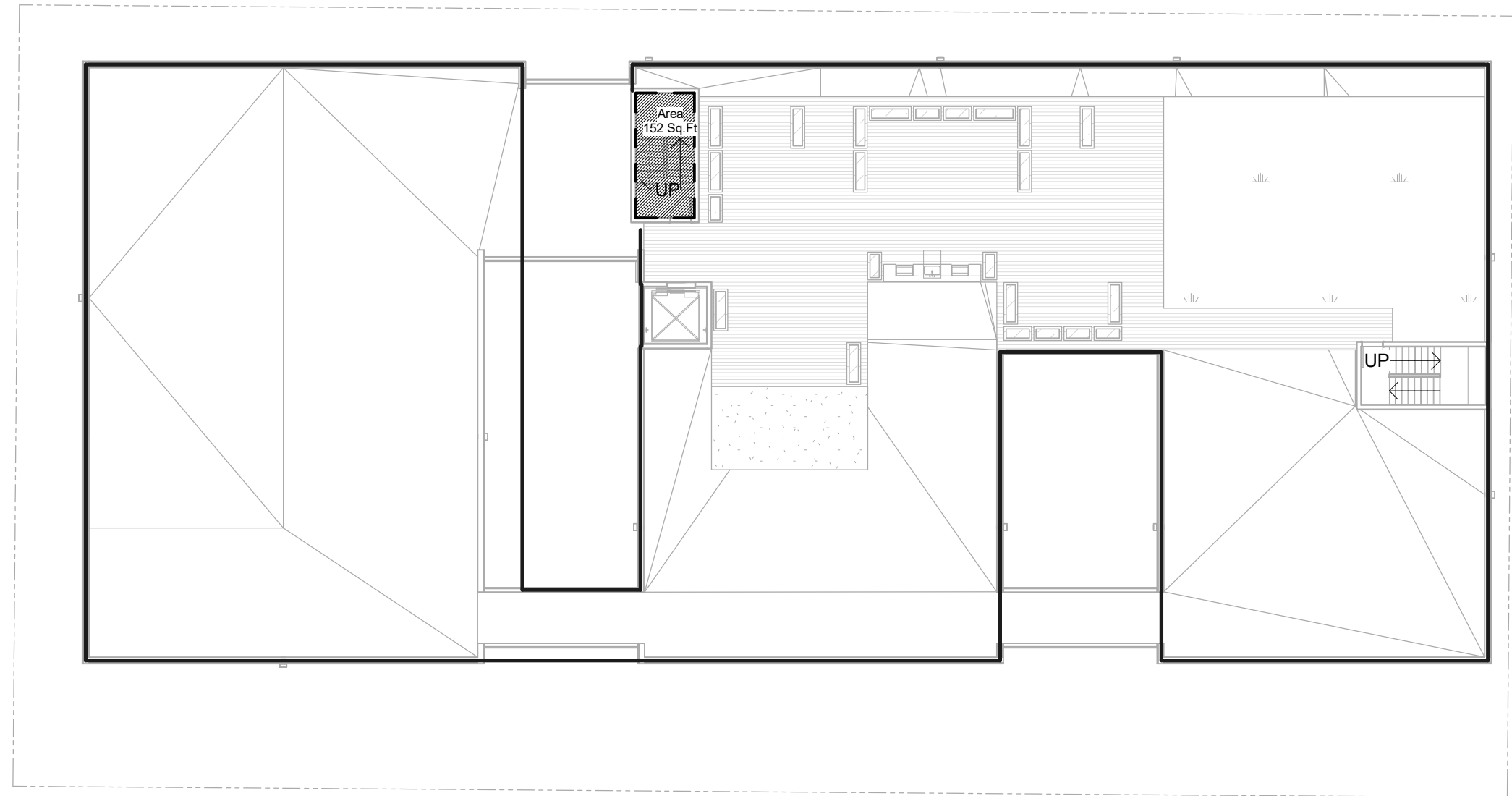
4 LEVEL 4 - AREA PLAN



5 LEVEL 5 - AREA PLAN



6 LEVEL 6 - AREA PLAN



7 ROOF - AREA PLAN

	Areas (GSF)
LEVEL 1	10,915
LEVEL 2	15,878
LEVEL 3	19,148
LEVEL 4	14,826
LEVEL 5	14,826
LEVEL 6	14,826
ROOF	152
TOTAL GSF	90571.00

PARCEL AREA: 24,188 SF
TOTAL GSF: 90,673
PROPOSED FAR: 3.74
MAX. FAR: 3.75
ALLOWABLE GSF: 90,705

23.47A.012 FLOOR AREA RATIO:
Maximum FAR is 3.75 per Table A.
All stories and portions of a story that extend no more than 4 feet above existing or finished grade are exempt.
Portions of long-term bicycle storage provided inside the building for small efficiency dwelling units shall be exempt



23.58C.040.A.1 MANDATORY HOUSING AFFORDABILITY

MHA-R SUMMARY TABLE	
1 Zone	NC2-55(M)
2 MHA area designation per Map A for 23.588.050 outside of downtown, SM SLU, and SM-U 85 zones	Urban Center
3 Associated PUDA with MHA-R requirements	LOW
4 Total number of residential and live-work units in the structure	Units: 180 Live-work: 12 TOTAL UNITS 192 units
5 Gross floor area - residential use	89,287 SF
6 Gross floor area - live-work units	7,056 SF
7 Gross floor area in residential or live-work use excluded from MHA-R payment	0
8 Floor area for MHA-R calculation	96,343 SF
PAYMENT OPTION	
Payment calculation amount per code (adjusted for change in CPI) or PUDA	\$7.00
MHA-R payment provided	\$674,401.00
PERFORMANCE OPTION	
Performance calculation amount per code for PUDA	5.00%
Total MHA-R performance units required	9.6 units
MHA-R performance units to be provided	10 units

MHA-R FLOOR AREA CALCULATION (see floor area diagrams)	
L1 (A) gross floor area in live/work use	9,634 sf
Total gross floor area in live/work use	7,056 sf
MHA-R FLOOR AREA CALCULATION (see floor area diagrams)	
L2 (C) gross floor area in residential use	15,878 sf
L3 (D) gross floor area in residential use	19,148 sf
L4 (E) gross floor area in residential use	14,826 sf
L5 & L6(F) gross floor area in residential use	14,826 sf
ROOF (G) gross floor area in residential use	152 sf
Total gross floor area in residential use	96,343 sf
MHA-R exemptions - 23.588.040.A.1.b	
None	
Total chargeable floor area for MHA calc	96,343 sf
Payment Amount Calculation	
Total chargeable floor area for MHA calc	96,343 sf
Payment amount per 23.58B, for low zone	\$7.00
Total MHA-R payment	\$674,401.00

*Applicant complying with chapter 23.58c through the payment option shall provide a cash contribution to the city, calculated by multiplying the payment calculation amount per square foot a. In the case of construction of a new structure, the gross floor area in residential use and the gross floor area of live-work units

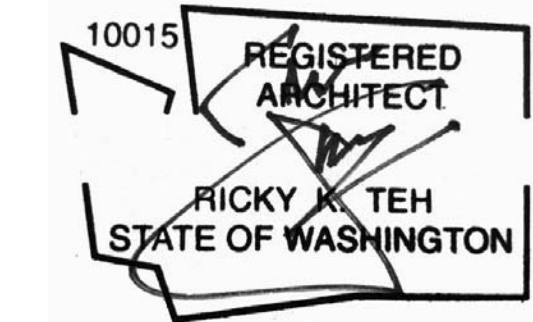
8 MHA - R PERFORMANCE

S38 BODE RAINIER
RESIDENTIAL APARTMENT

ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
MUP: # 3038509 - LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

SEAL:



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F.A.R. / M.H.A

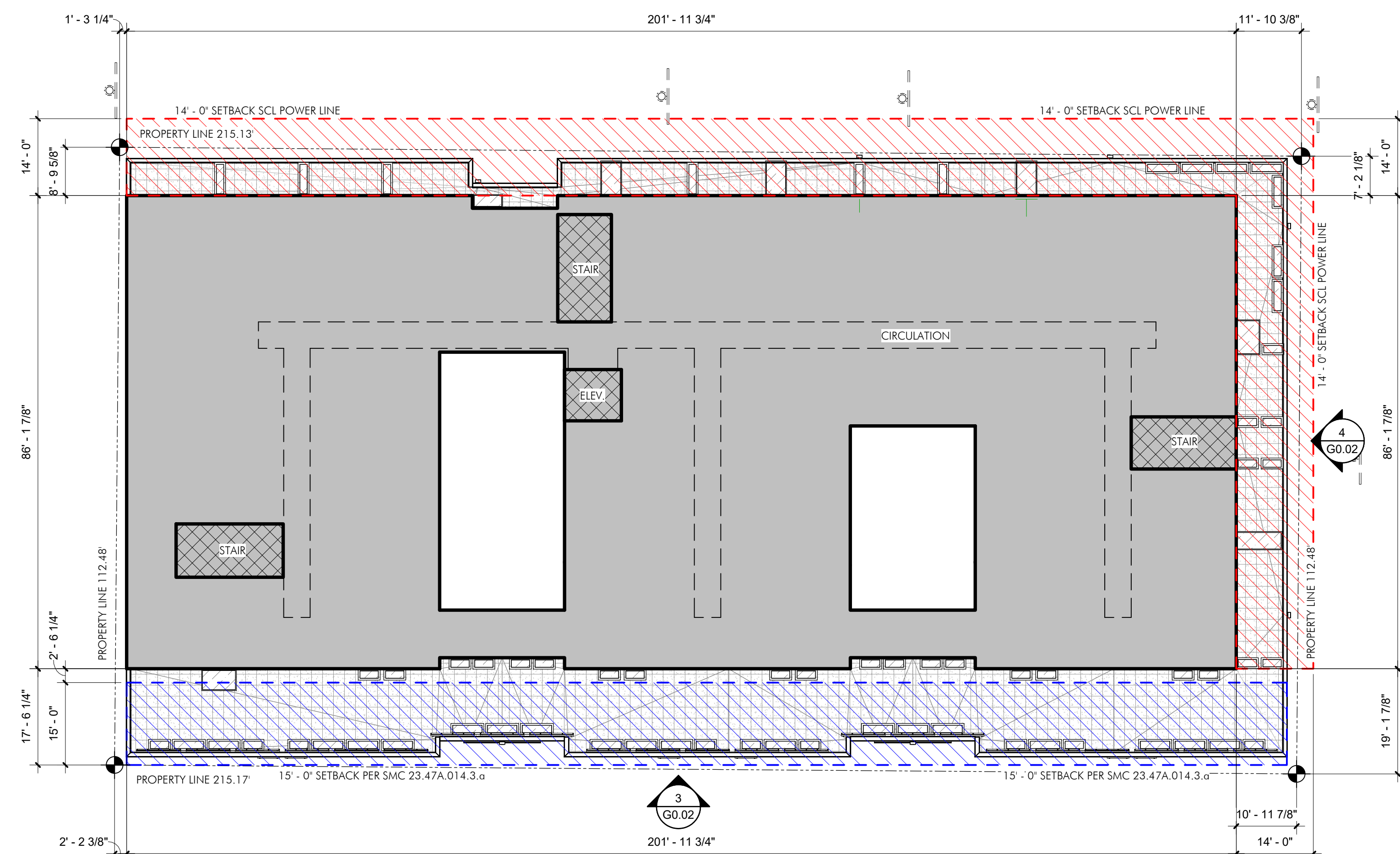
DATE ISSUE DATE	REVISION
PROJECT NUMBER MUP: # 3038509 - LU	SHEET NUMBER
SCALE As indicated	G0.06



3 SOUTH - ELEVATION - SETBACK



4 EAST - ELEVATION - SETBACK



 **2** **LEVEL 4 - SETBACK**
1/16" = 1'-0"

SETBACKS:

SMC 23.47A.014.B.3

BUILDING FOOTPRINT: LEVEL 4

REQUIRED:

FRONT: 0' - 0"

SIDE: 0' - 0"

EAST: 7' - 2" MIN. / 19' - 1" MAX.

REAR: 0" - 0" REAR: 0' - 2" MIN. / 10' - 11" MAX.

***SMC 23.47A.014.B.3
UPPER LEVEL SETBACK FOR PORTIONS OF STRUCTURES ABOVE 13' FEET IN HEIGHT
TO A MAX. OF 40' FEET

***14' FEET SETBACK FROM SCL POWER LINES

SETBACKS:

SMC 23.47A.014.B.1

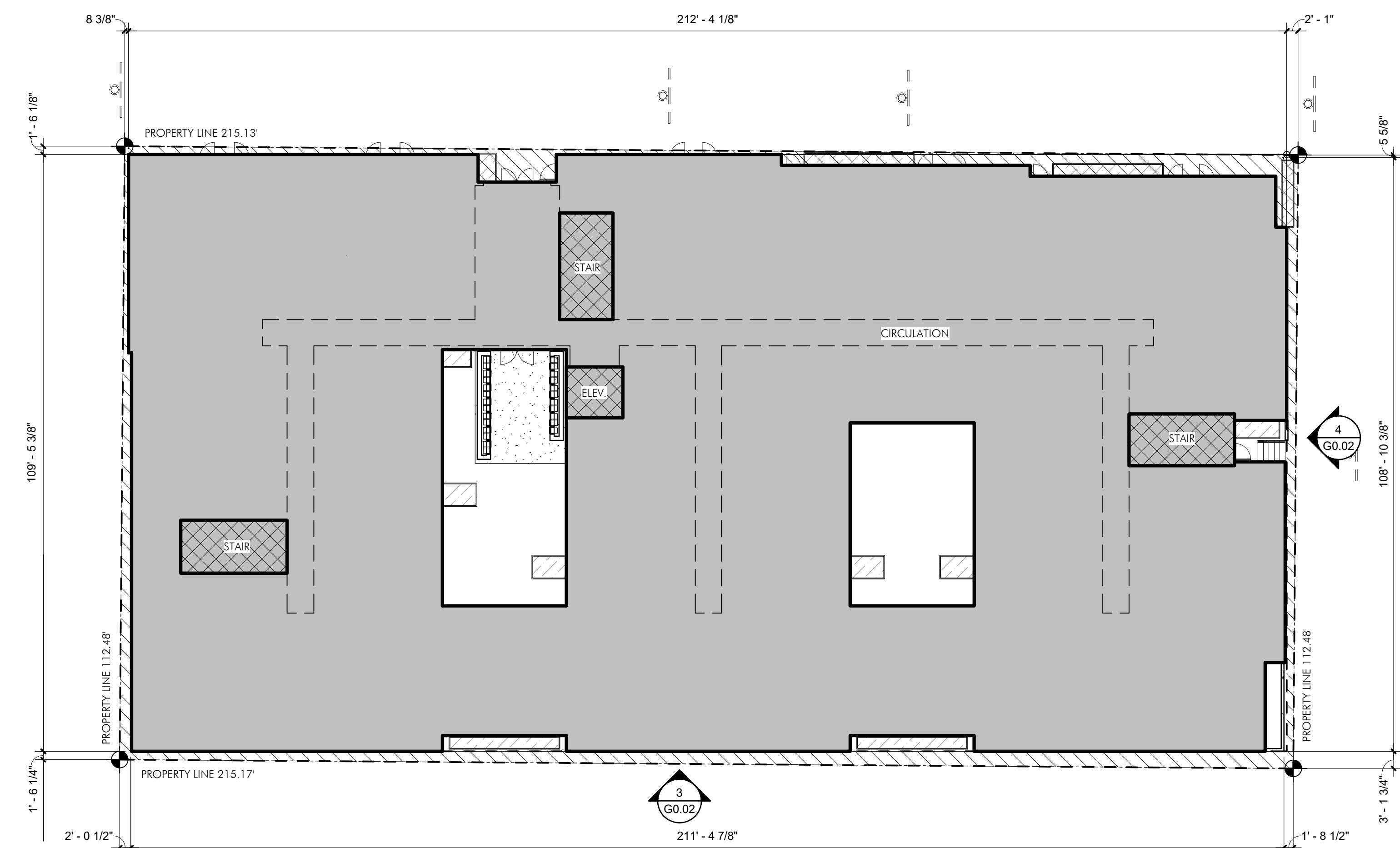
BUILDING FOOTPRINT:

REQUIRED:

FRONT: 0' - 0"

SIDE: 0' - 0"

REAR: 0" - 0"



PROJECT

1 LEVEL 1 - SETBACK

1/16" = 1'-0"

GEN. NOTES - SETBACK REQ'S

- SMC 23.47A.014
1. SETBACK - 0'-0" AT GRADE
2. UPPER LEVEL SETBACK AT REAR 15'-0" SINGLE FAMILY
- 3.

LEGEND - SETBACK

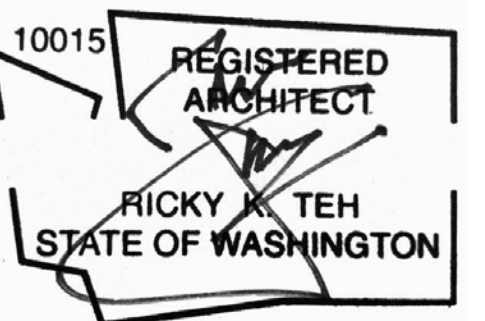


S38 BODE RAINIER
RESIDENTIAL APARTMENT

3038509LU
DEVELOPMENT + DESIGN: BODE

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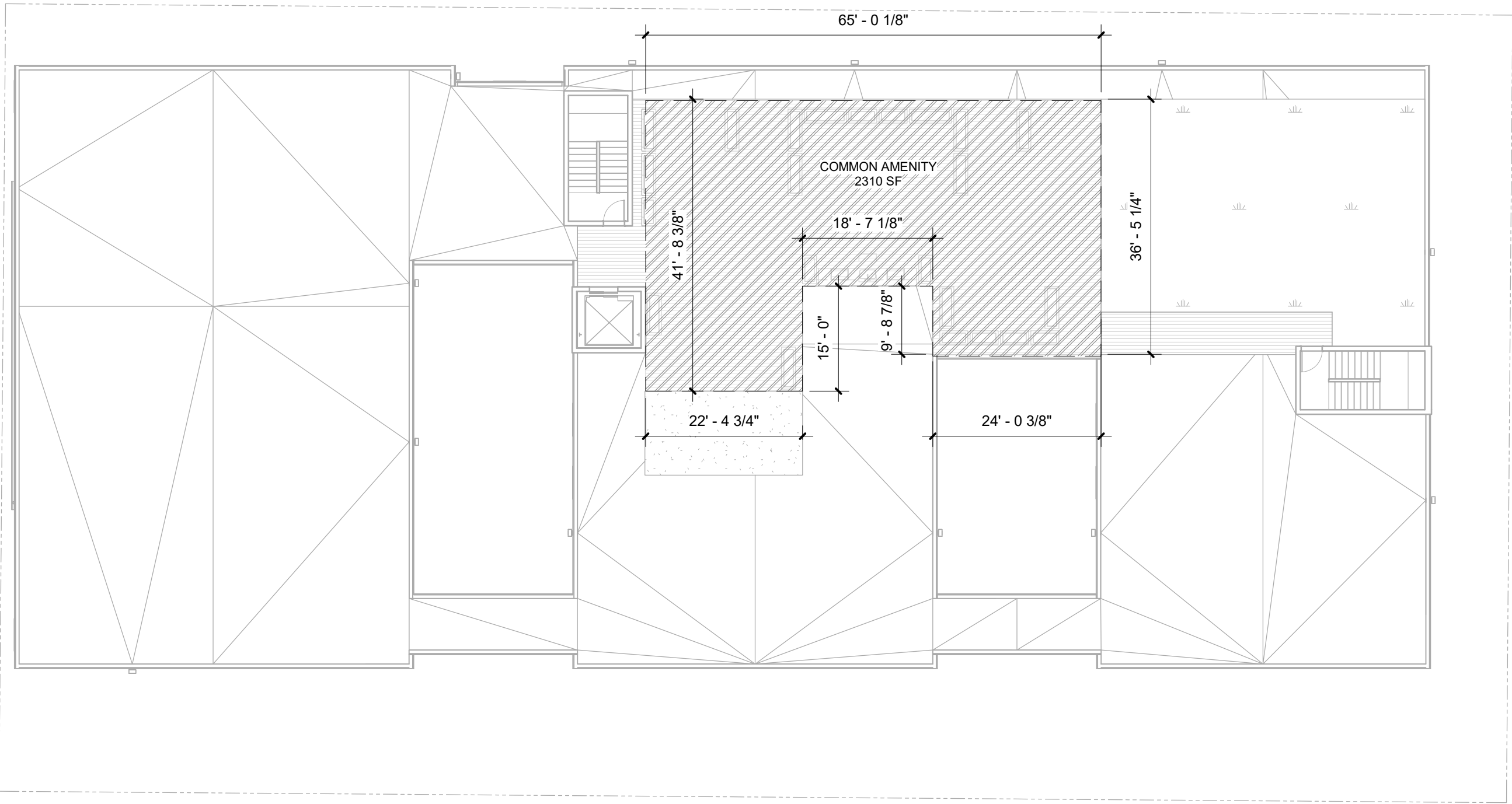
REAL:



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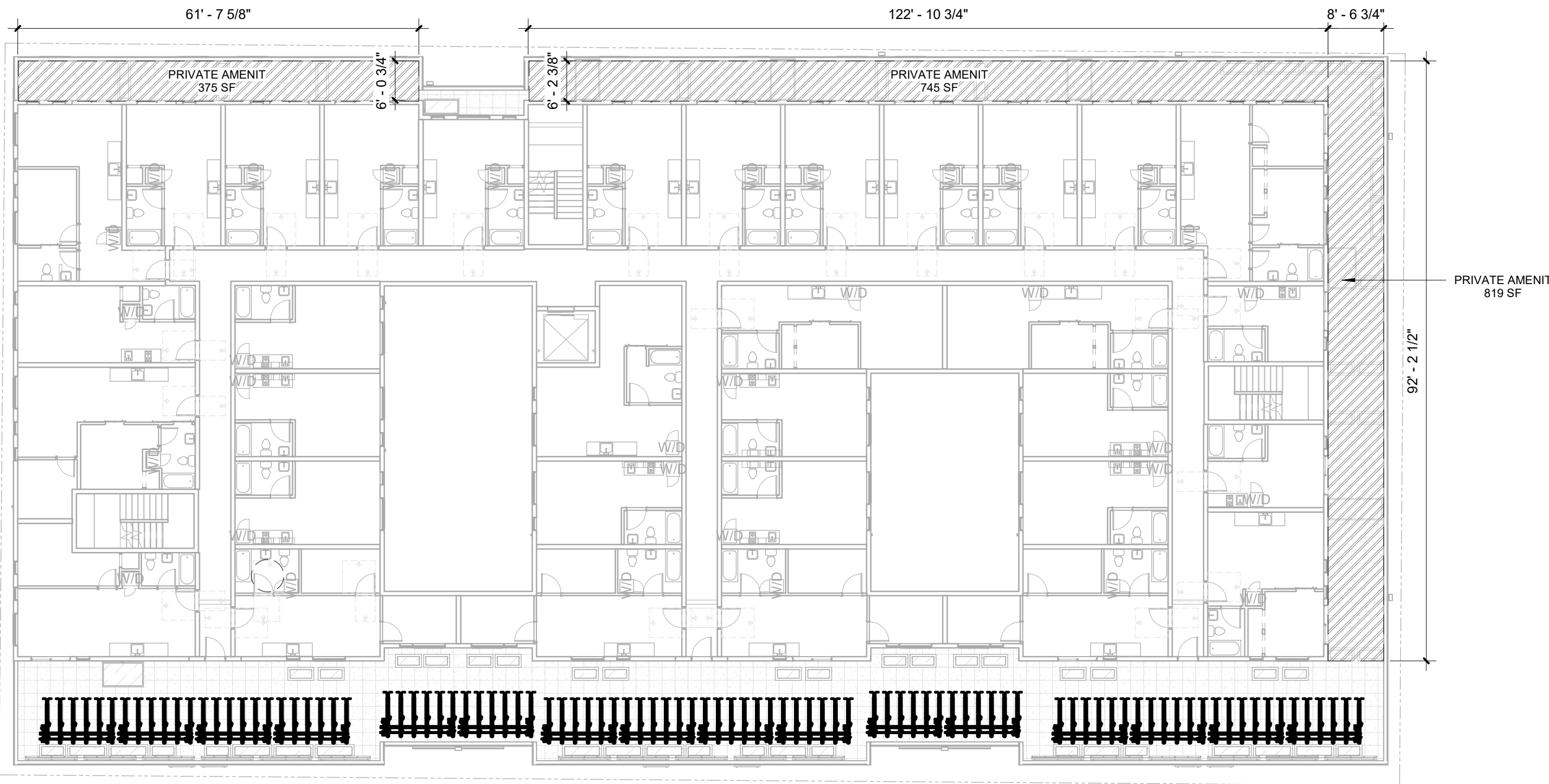
SETBACKS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE As indicated	G0.07



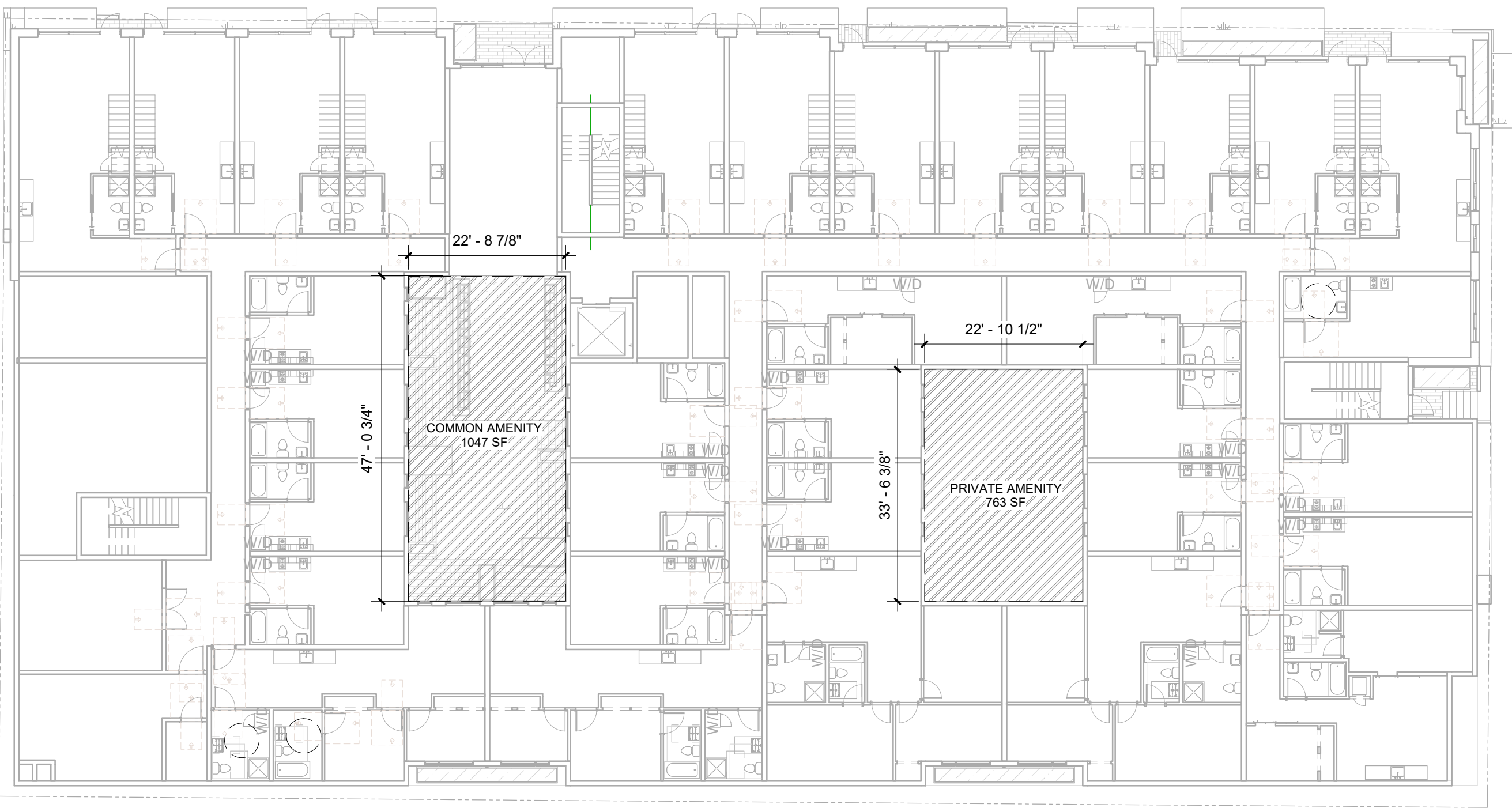
3 ROOF - AMENITY

1/16" = 1'-0"



2 LEVEL 4 - AMENITY

1/16" = 1'-0"



1 LEVEL 1 - AMENITY

1/16" = 1'-0"

AMENITY		
	PRIVATE	COMMON
LEVEL 1	763	1,407
LEVEL 4	1,939	0
ROOF		2,310
TOTAL	2,986	3,073
AMENITY PROPOSED	6,059	
AMENITY REQUIRED (5%)	4,528	
PROPOSED PERCENTAGE	6.6%	
TOTAL GSF	90,571	

23.47A.024 AMENITY AREA:

- Amenity areas are required in an amount equal to 5% of total gross floor area in residential use.
- Private balconies and decks shall be 60 sf min area and 6 feet min. horizontal dimension.

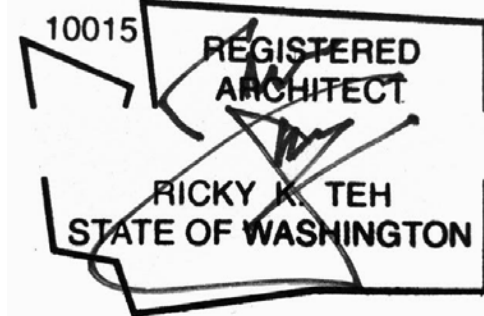


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RESIDENTIAL APARTMENT
ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
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DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

SEAL:



SDCI APPROVAL STAMP:

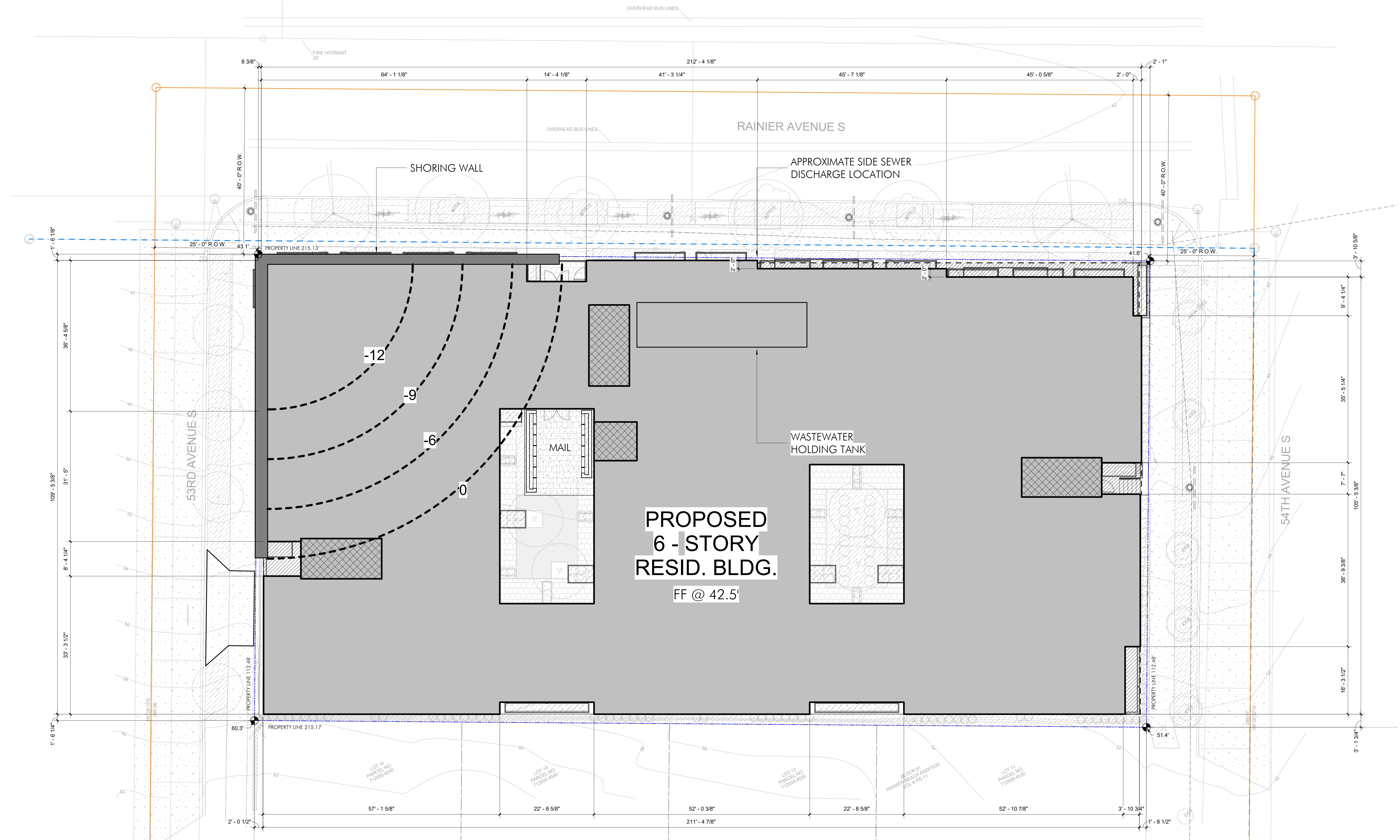
AMENITY AREAS

DATE ISSUE DATE	REVISION
PROJECT NUMBER MUP: # 3038509 - LU	SHEET NUMBER
SCALE As Indicated	G0.08



1 SITE PLAN - CONCEPTUAL EXCAVATION

1" = 10'-0"



PROJECT S38 PERMIT NOTES FOR REMEDIAL EXCAVATION:

The remedial excavation component of this project consists of the removal of approximately 800 tons of petroleum contaminated soil associated with a former Underground Storage Tank release. Based on previous investigation data collected on the property, the maximum depth of excavation is expected to be 12 feet below ground surface. The excavation will be stabilized using an engineered shoring wall on the northern and western property boundaries to support the City of Seattle rights-of-way and associated infrastructure.

In accordance with the recommendations made by Pangeo Inc. in their Geotechnical Report, dated 04/09/21, the maximum unprotected slope ratio will be no greater than 1 foot vertical over 1 foot horizontal. The petroleum contaminated soil generated during the project will be hauled off site to an appropriate Subtitle-D disposal facility under applicable State and Federal laws.

Imported clean structural fill will be used to backfill the excavation to original surface grade prior to construction of the proposed multi-family building. The fill will be placed in lifts no greater than 8 inches and compacted to 95 percent of the modified proctor maximum density as determined by American Society for Testing and Materials D1557 testing procedure. The temporary shoring wall will be cut at approximately 4 feet below ground surface to allow for potential utility installation.

Water that is collected within the excavation via groundwater infiltration or stormwater runoff will be pumped into a holding tank positioned on the north central portion of the Property. The holding tank will be emptied at least once per week by a vacuum truck service or disposed of into the sanitary sewer as permitted by the King County Wastewater Treatment Division.



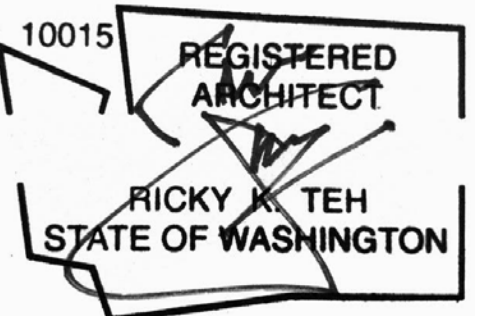
PROJECT S38 LLC,
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S38 BODE RAINIER RESIDENTIAL APARTMENT

ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
3038509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

SEAL:



SDCI APPROVAL STAMP:

REMEDIAL EXCAVATION

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1" = 10'-0"	G0.09

LEGAL DESCRIPTION

LOTS 7, 8, 9 AND 10 IN BLOCK 81 OF RAINIER BEACH, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 11, RECORDS OF KING COUNTY, WASHINGTON;

TOGETHER WITH THE NORTH ½ OF VACATED ALLEY ADJOINING; AND

TOGETHER WITH THE WEST 5 FEET OF 54TH AVENUE SOUTH ADJOINING.

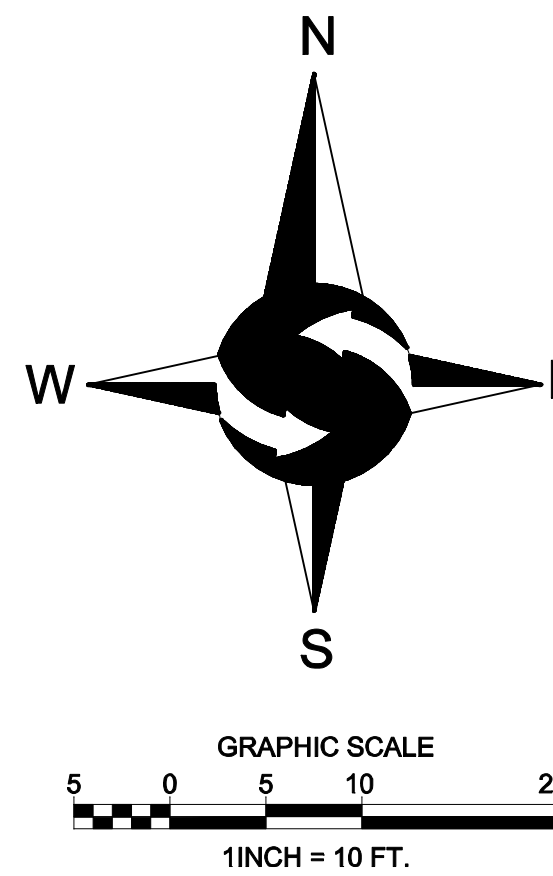
SITUATE IN THE CITY OF SEATTLE, STATE OF WASHINGTON, COUNTY OF KING.

BASIS OF BEARINGS

RECORD OF SURVEY BY CRAMER NORTHWEST INC. FOR ERIC WONG, AS RECORDED UNDER RECORDING NO. 2008011290021, RECORDS OF KING COUNTY, WASHINGTON.

GENERAL NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN DECEMBER 2020 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.



PROJECT INFORMATION

SURVEYOR: SITE SURVEYING, INC.
21923 NE 11TH ST
SAMMAMISH, WA 98074
PHONE: 425.298.4412

PROPERTY OWNER: PROJECT S38 LLC
18605 17TH AVENUE NW
SHORELINE, WA

TAX PARCEL NUMBER: 712930-4500

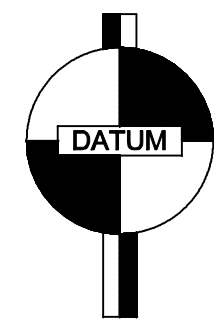
PROJECT ADDRESS: 9367 RAINIER AVENUE S
SEATTLE, WA 98118

ZONING: NC2-55 (M)

JURISDICTION: CITY OF SEATTLE

PARCEL ACREAGE: 24.

VERTICAL DATUM & CONTOUR INTERVAL



ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCSC SURVEY CONTROL DATABASE.

THE MARK IS A BRASS CAP AT THE INTERSECTION OF BACK OF CONCRETE WALKWAYS AT THE SOUTHWEST CORNER OF THE INTERSECTION OF 52ND AVENUE S AND RAINIER AVENUE S.

POINT ID NO. SNV-2526;
ELEVATION: 46.099 FEET (14.039 METERS) NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP
NTS

LEGEND

- FOUND MONUMENT AS DESCRIBED
- FOUND TACK IN LEAD
- FOUND BRASS DISK
- SET MAG NAIL AS DESCRIBED
- POWER METER
- UTILITY POLE
- GUY WIRE
- GAS VALVE
- GROUNDWATER MONITORING WELL
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN
- SIGN
- APPROXIMATE LOCATION SANITARY SEWER LINE
- APPROXIMATE LOCATION STORM DRAIN LINE
- APPROXIMATE LOCATION UNDERGROUND GAS LINE
- APPROXIMATE LOCATION UNDERGROUND WATER LINE
- OVERHEAD POWER
- OVERHEAD UTILITIES
- CHAINLINK FENCE
- CONCRETE WALL
- ASPHALT SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- CE CEDAR
- DS DECIDUOUS

SE 1/4, SW 1/4, SEC 35, TWP 24N, RNG 4E, W.M.

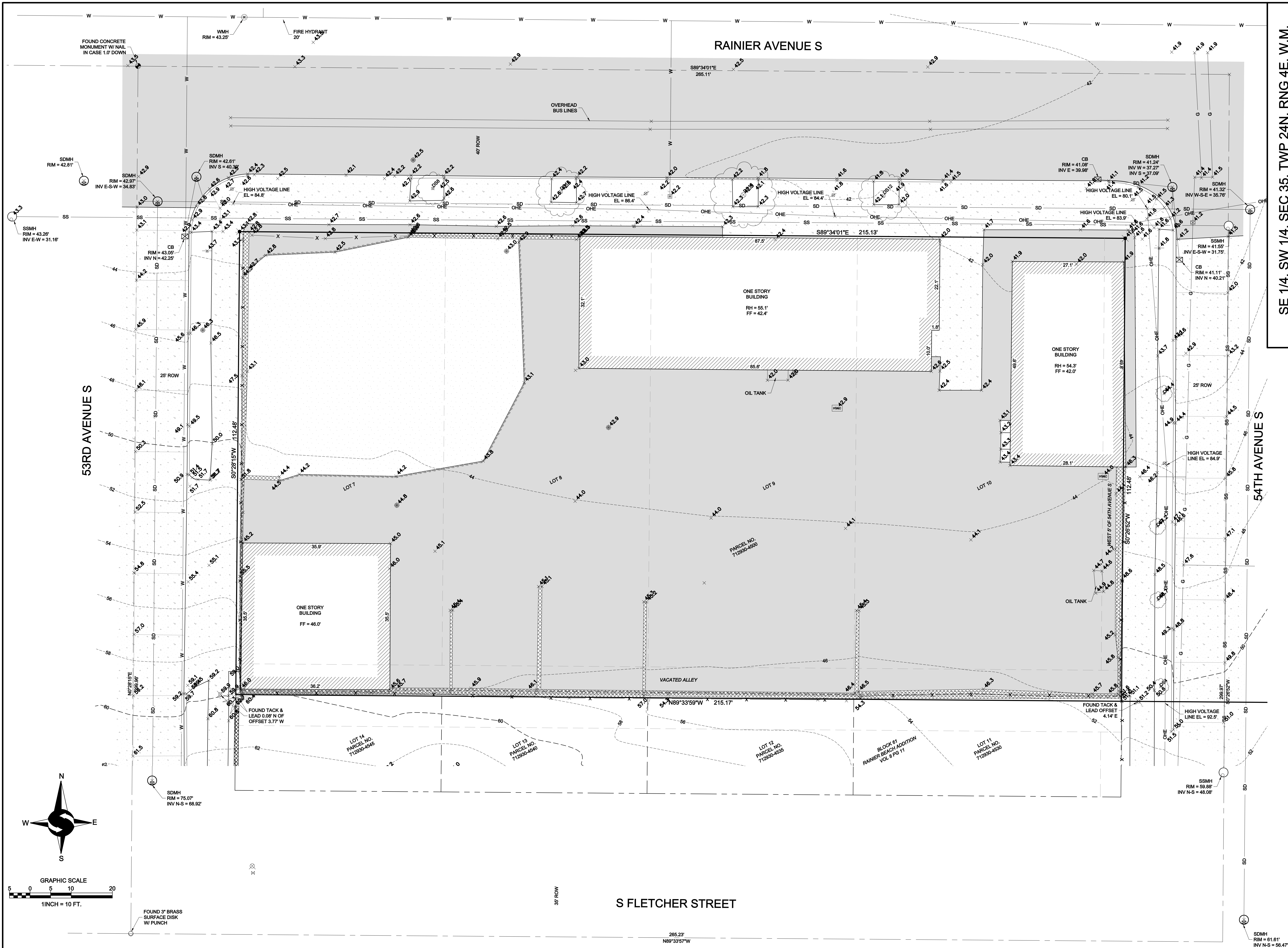


TOPOGRAPHIC SURVEY
BODE
9367 RAINIER AVENUE S
SEATTLE, WA 98118

PROJECT NO. 20-651

DRAWN BY: MTS
CHECKED BY: TNW
DATE: 12/21/2020

SHEET 1 OF 2



SE 1/4, SW 1/4, SEC 35, TWP 24N, RNG 4E, W.M.

[illegible]

TOPOGRAPHIC SURVEY

BODE
3367 RAINIER AVENUE S
SEATTLE, WA 98118

PROJECT NO. 20-651

DRAWN BY: MTS
CHECKED BY: TNW
DATE: 12/21/2020

SHEET 2 OF 2



www.sitesurvivemanning.com
21923 NE 11th Street Sammamish WA 98074
Phone: 425.298.4412

2008



-
- ITEM TO REMOVE



REMOVE

-

- ③ ASPHALT PAVING
- ④ GRAVEL SURFACING
- ⑤ RETAINING WALL
- ⑥ TREE

PRESERVE AND PROTECT

- | | |
|---|---------------------------------------|
| 1 | EXISTING STORM LINE AND APPURTENANCES |
| 2 | EXISTING UTILITY POLE |
| 3 | EXISTING SEWER LINE AND APPURTENANCES |
| 4 | EXISTING OVERHEAD POWER |
| 5 | EXISTING TREE TO REMAIN |
| 6 | EXISTING GAS LINE TO REMAIN |
| 7 | CAP EXISTING GAS LINE |
| 8 | EXISTING CURB RAMP AND CURB TO REMAIN |

11235 s.e. 6th street | suite
150 bellevue, wa 98004
t: 425.453.9501 | f:
425-453-8208 www.navixeng.com

CLIENT/OWNER

BODE

PROJECT NAME

**S38
RAINIER
BEACH**

NAVIX PROJECT NUMBER: 50-000-000

PROJECT ADDRESS

9367 RAINIER AVE S
SEATTLE, WA 98118

STAMP



REVISIONS

[illegible]

SECTION 35, TOWNSHIP 24
NORTH, RANGE 4 EAST, W.M.

PROJECT TEAM

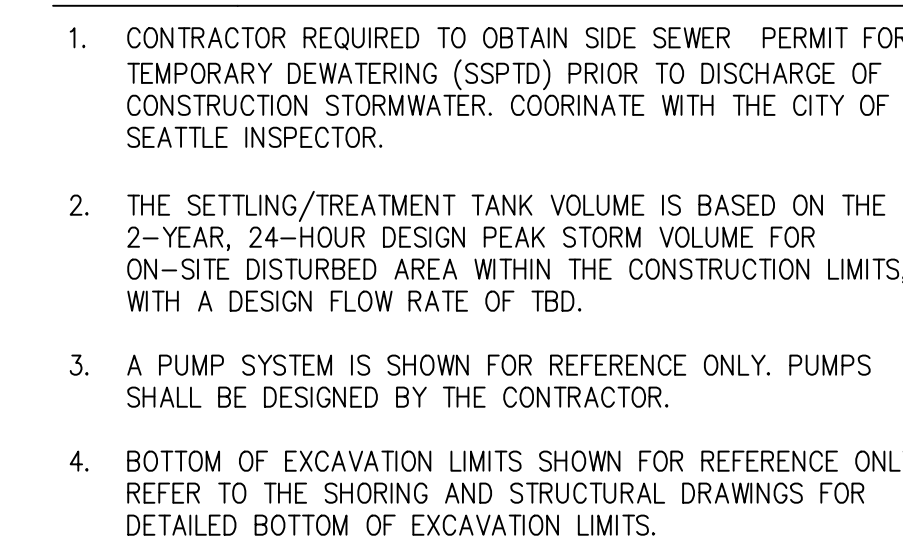
REVIEWED BY: J. TAFLIN
DESIGNED BY: T.LOUDON

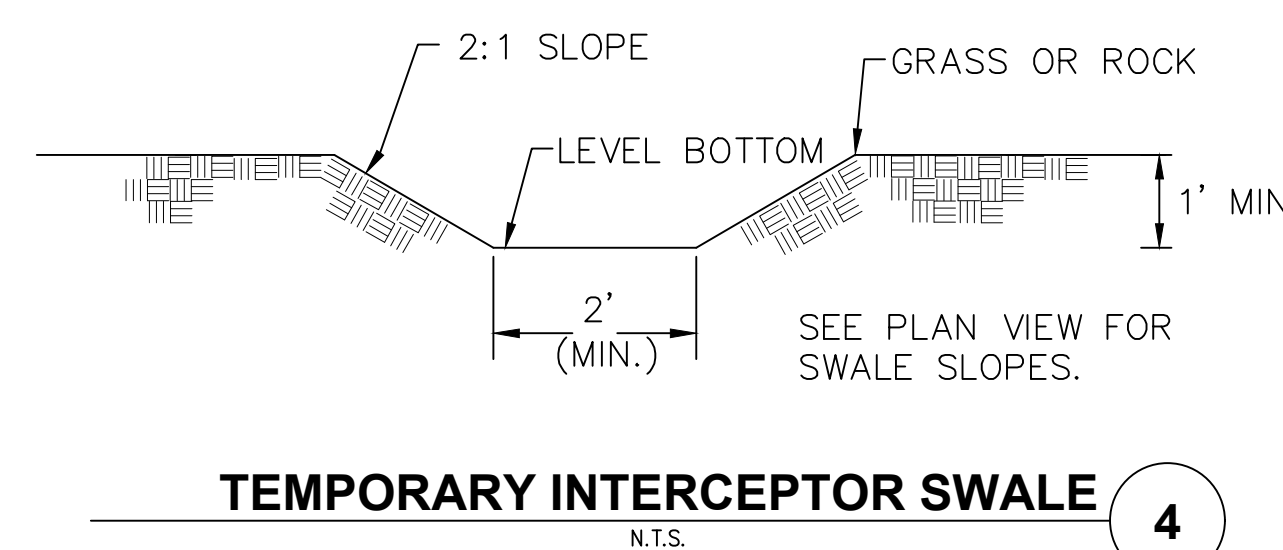
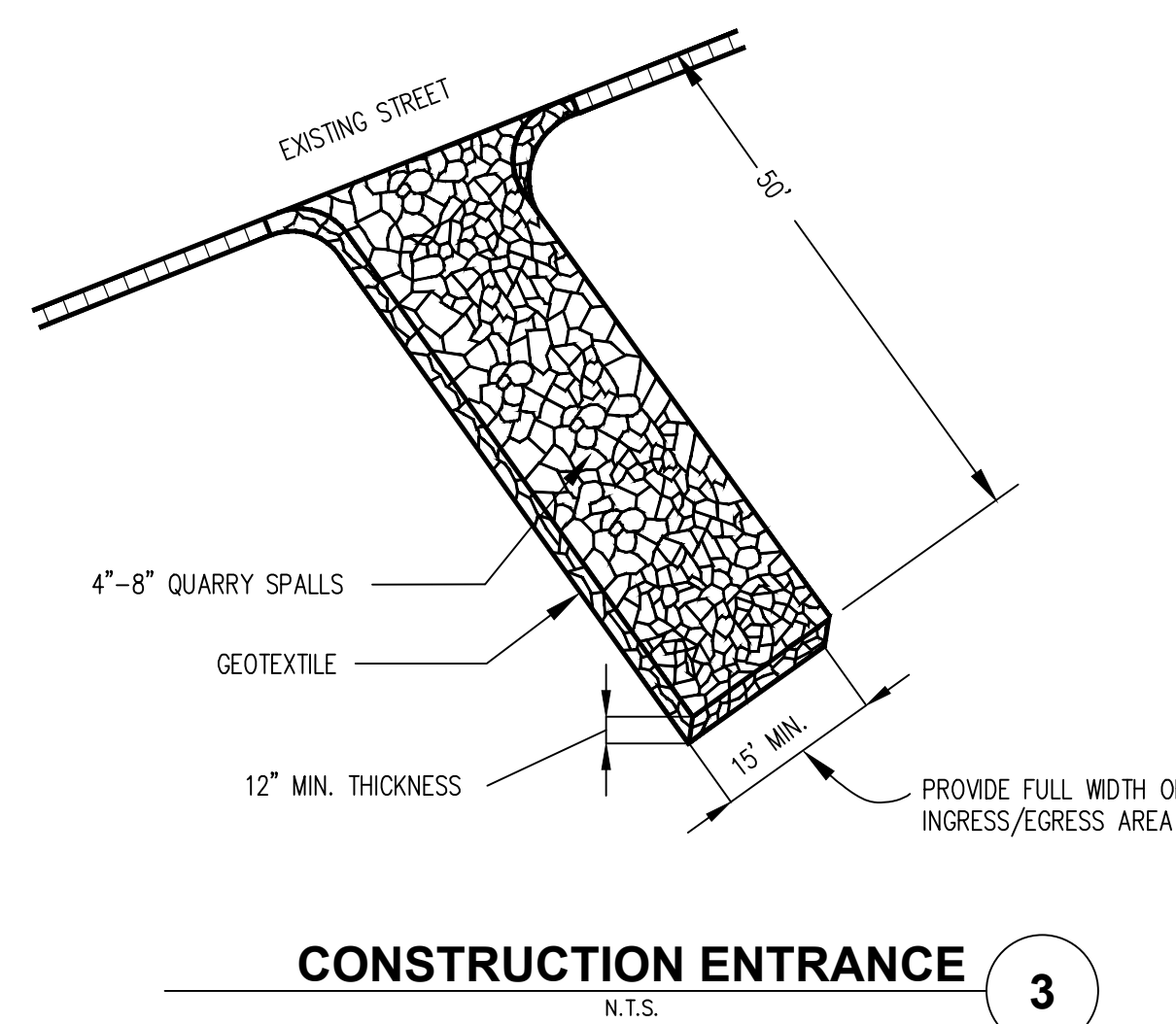
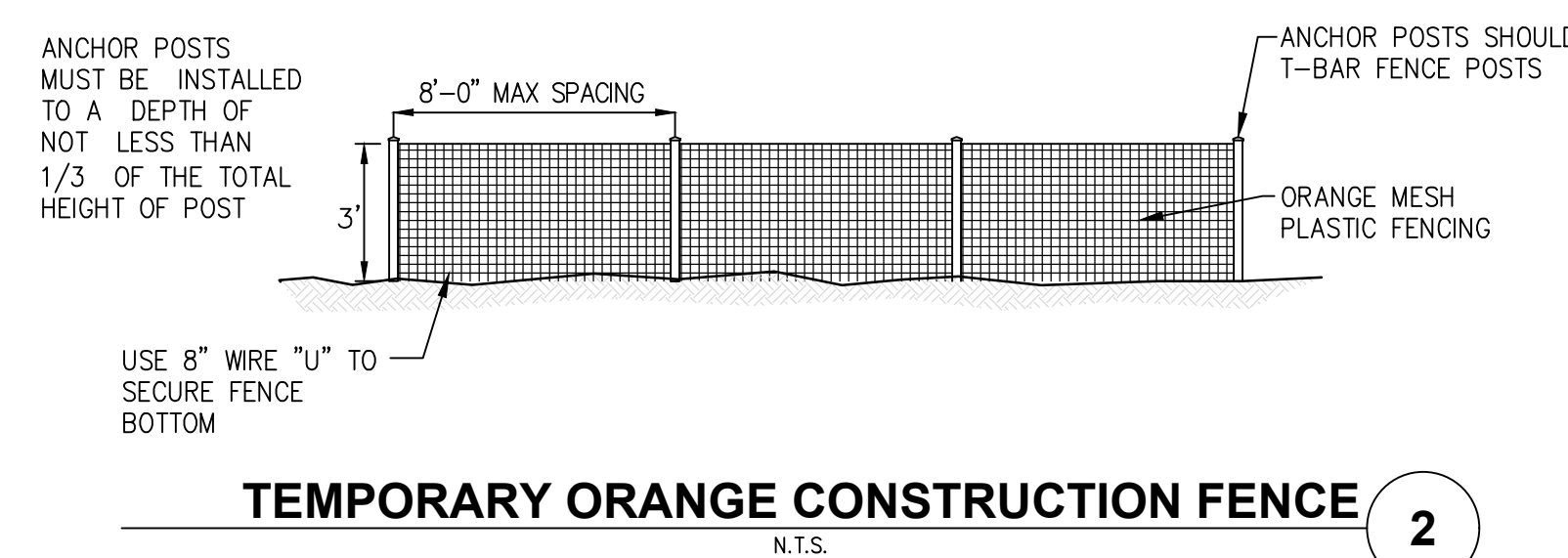
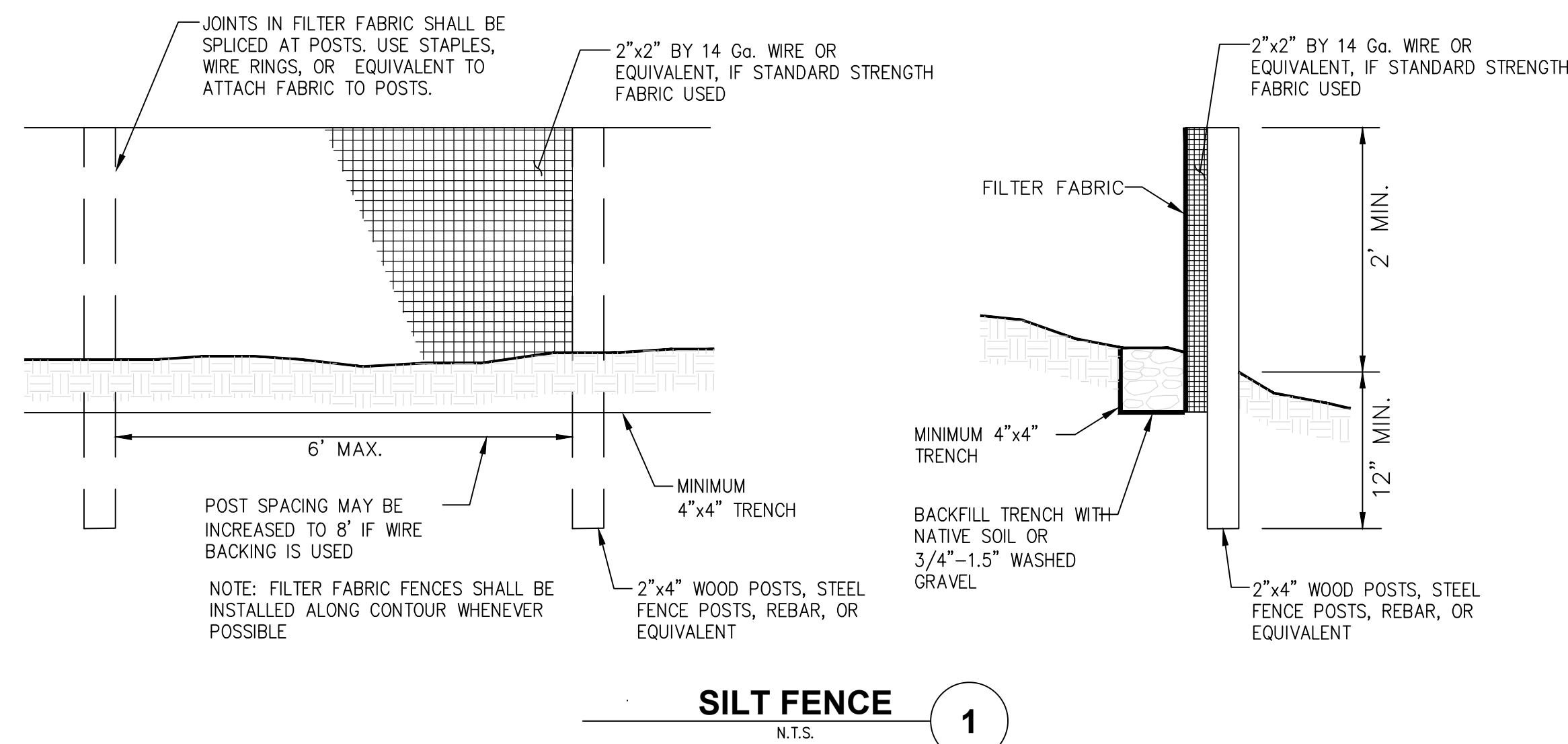
SHEET NAME

CIVIL DEMO PLAN

SHEET NUMBER

C1.0





CHECK DAM NOTES

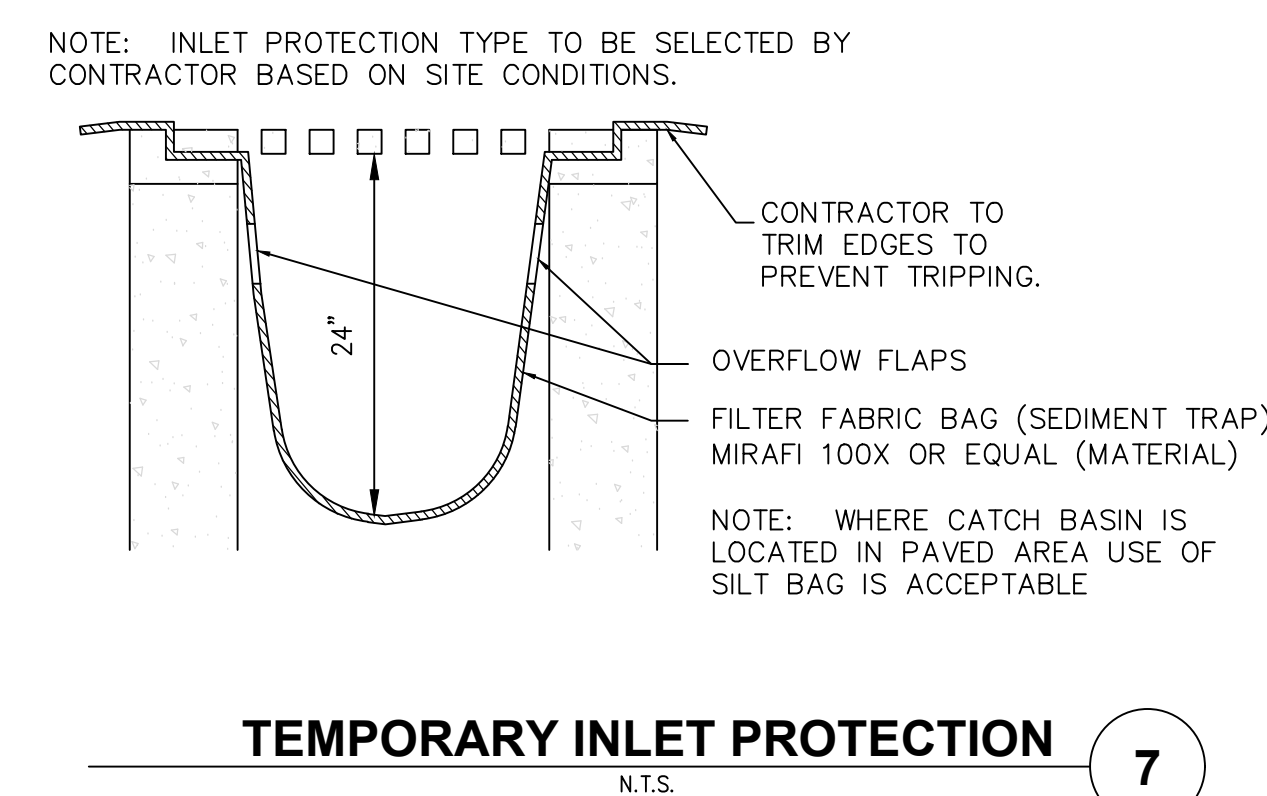
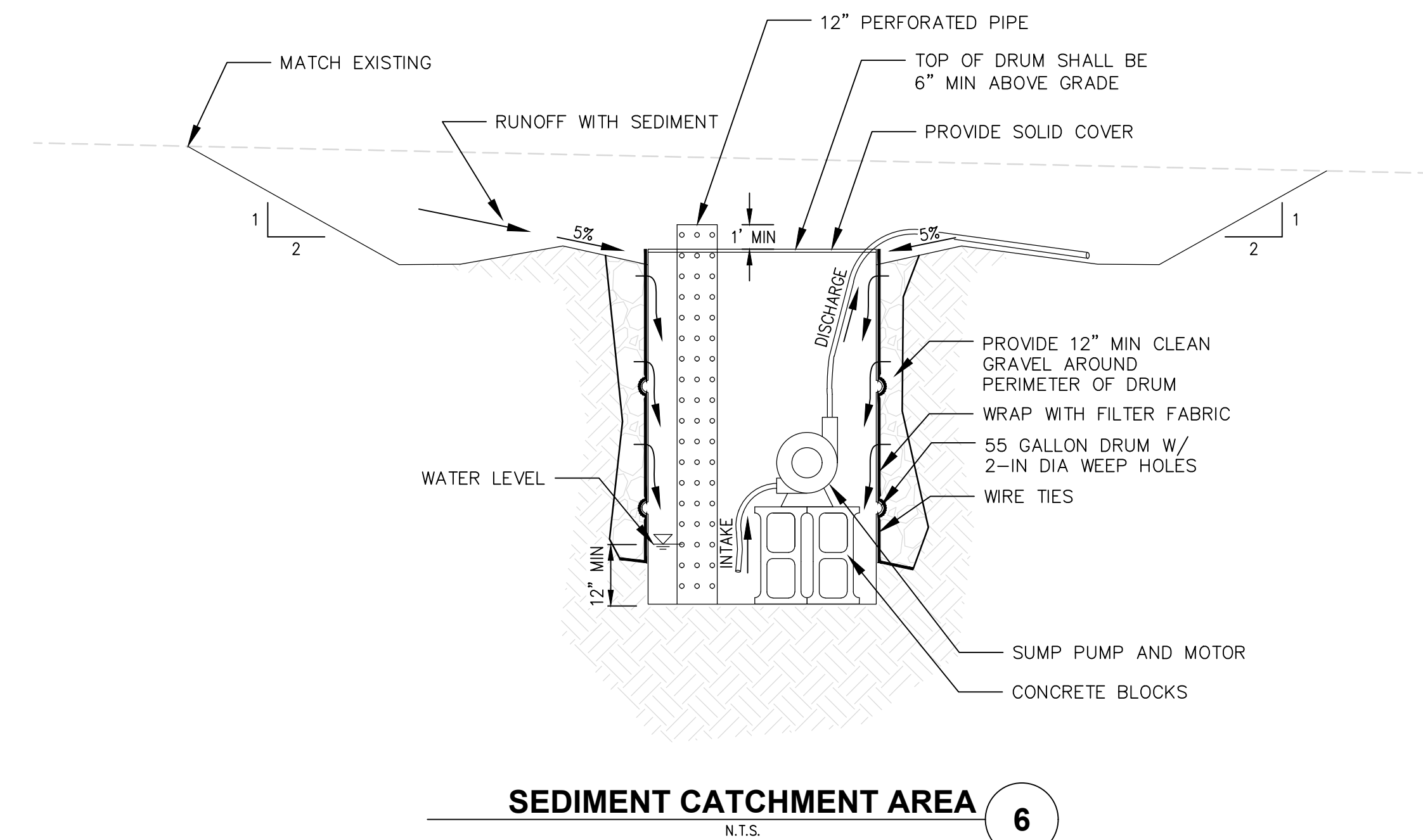
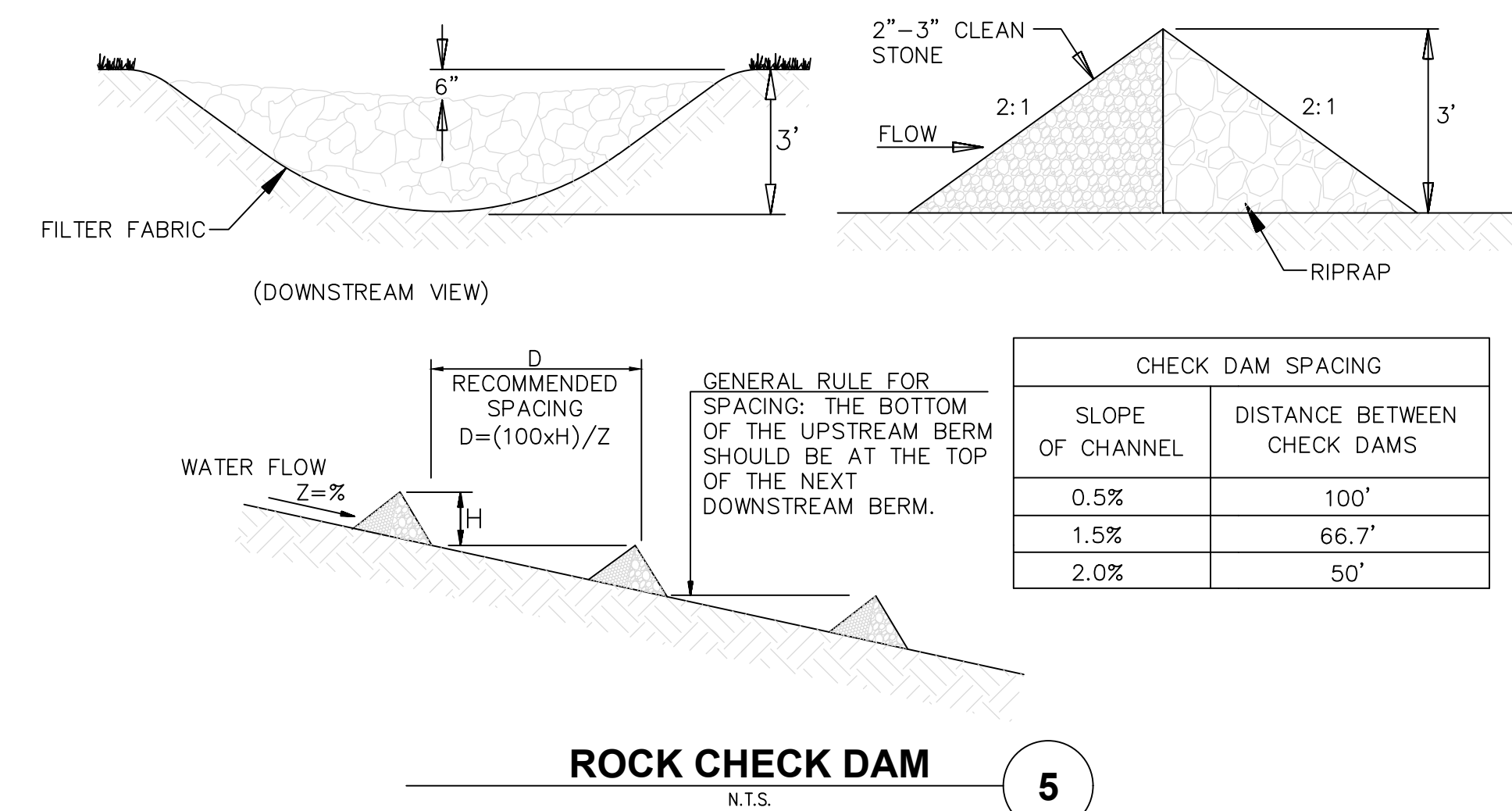
1. THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.

2. ROCK CHECK DAMS SHALL BE CONSTRUCTED OF 2-TO 4-INCH DIAMETER ROCK. THE ROCK MUST BE PLACED BY HAND OR MECHANICAL PLACEMENT (NO DUMPING OF ROCK TO FORM DAM) TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.

3. LOG CHECK DAMS SHALL BE CONSTRUCTED OF 4- TO 6-INCH DIAMETER LOGS. THE LOGS SHALL BE EMBEDDED INTO THE SOIL AT LEAST 18 INCHES.

4. IN THE CASE OF GRASS-LINED DITCHES AND SWALES, CHECK DAMS SHALL BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER DAM REMOVAL.

5. CHECK DAMS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL DAM HEIGHT OR BEFORE.



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150 bellevue, wa 98004

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25-453-8208 www.navixeng.com

CLIENT/OWNER**CODE**

PROJECT NAME

**S38
RAINIER
BEACH**

AVIX PROJECT NUMBER: 50-000-000

PROJECT ADDRESS

367 RAINIER AVE S
SEATTLE, WA 98118

TAMP



02

REVISIONS

[illegible]

SECTION, TOWNSHIP, RANGE:

SECTION 35, TOWNSHIP 24
NORTH, RANGE 4 EAST, W.M.

PROJECT TEAM

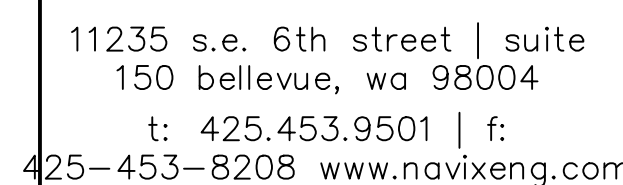
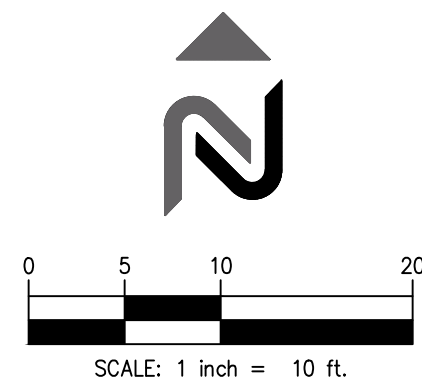
DESIGNED BY: T.LOUDON

SHEET NAME

CIVIL TESC DETAILS

SHEET NUMBER

C2.1

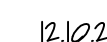


BODE

**S38
RAINIER
BEACH**

PROJECT ADDRESS

STAMP

[illegible]

PROJECT TEAM

REVIEWED BY:	J. TAFLIN
DESIGNED BY:	T. LOUDON

CIVIL SITE PLAN

C3.0

B: \\Washington\\SEATTLE\\Bode\\S38 Rainier Beach\\2Drawings\\S38_110S.dwg Dec 10, 2021 - 9:16am

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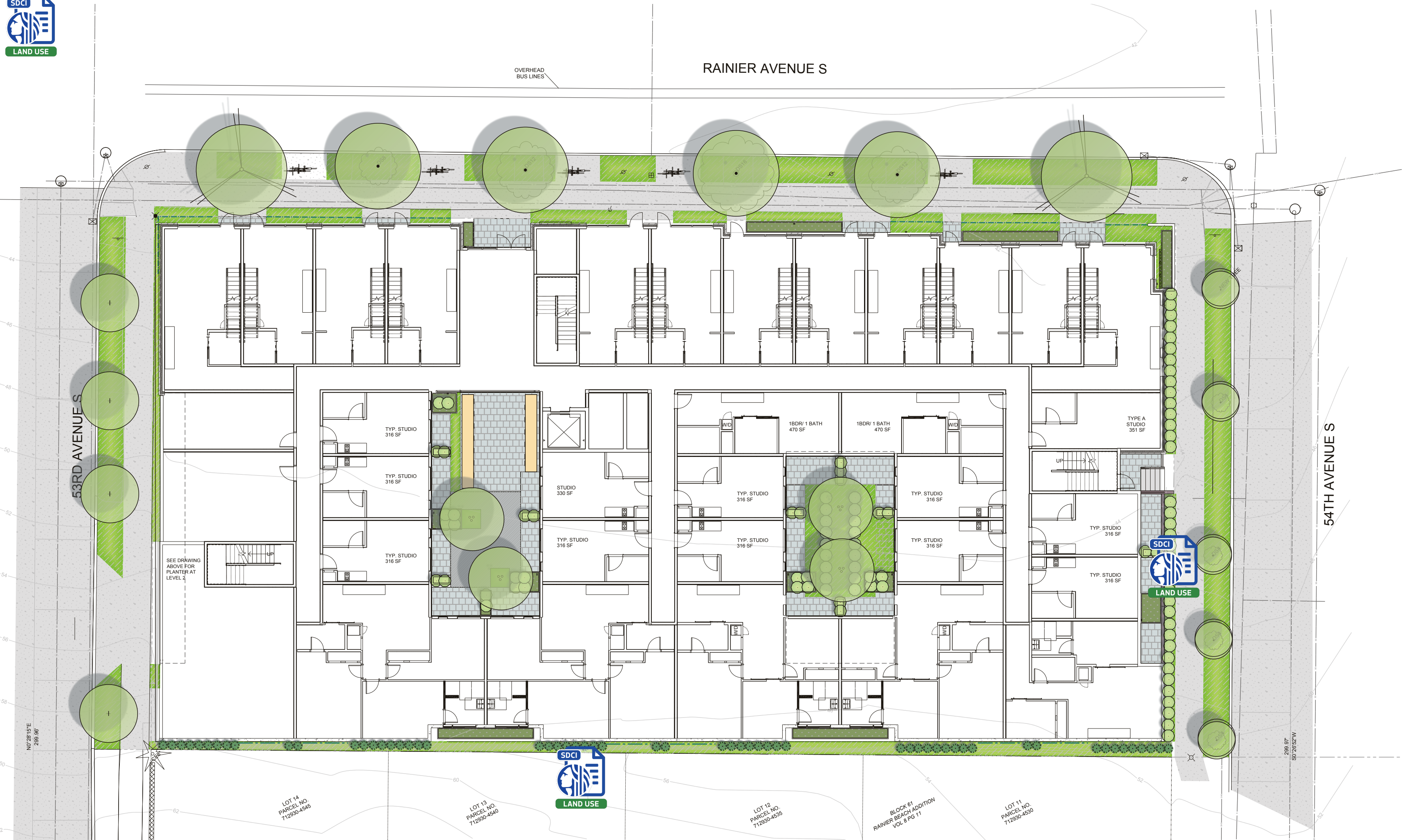


2

LANDSCAPE PLAN - LEVEL 2

1/16" = 1'-0"

0 8 16 32



1

LANDSCAPE PLAN - GROUND LEVEL

1/16" = 1'-0"

0 8 16 32



PLANT SCHEDULE

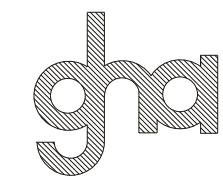
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58	SMALL COLUMNAR EVERGREEN TREE		
92	SHRUB WITH MATURE HEIGHT OF AT LEAST 24"		2 GAL
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	BIORETENTION PLANTING AREA, TYPICAL		
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- GREEN SCREEN METAL LATTICE
- CITY OF SEATTLE STANDARD LOOP BIKE RACK (5), TOTAL CAPACITY EQUALS 10 BIKES
- RAILING, SEE ARCHITECTURAL PLANS

REVISIONS BY

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APARTMENT AND LIVE WORK UNITS
9367 RAINIER AVE S, SEATTLE
LANDSCAPE PLAN

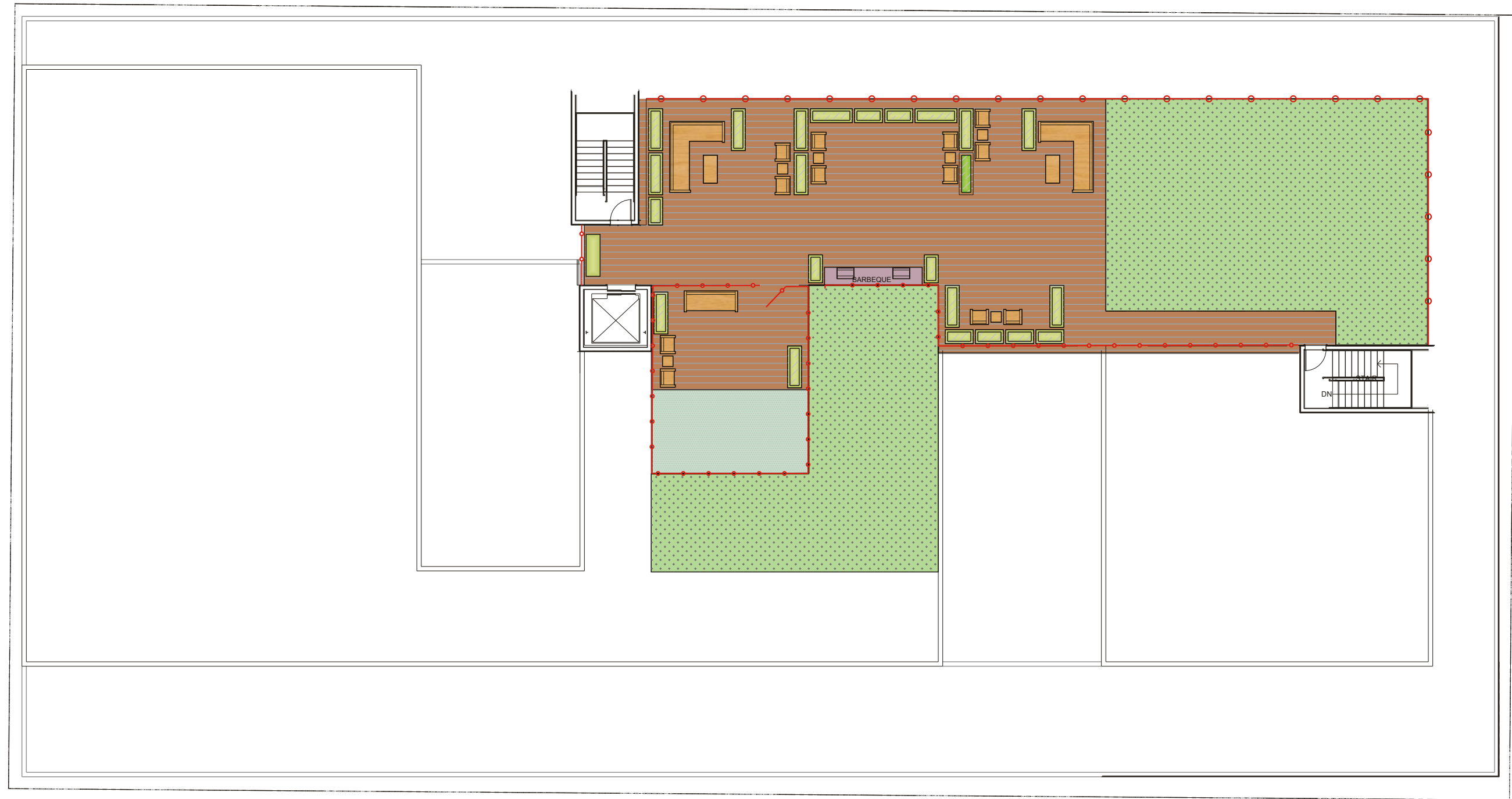


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SHEET:

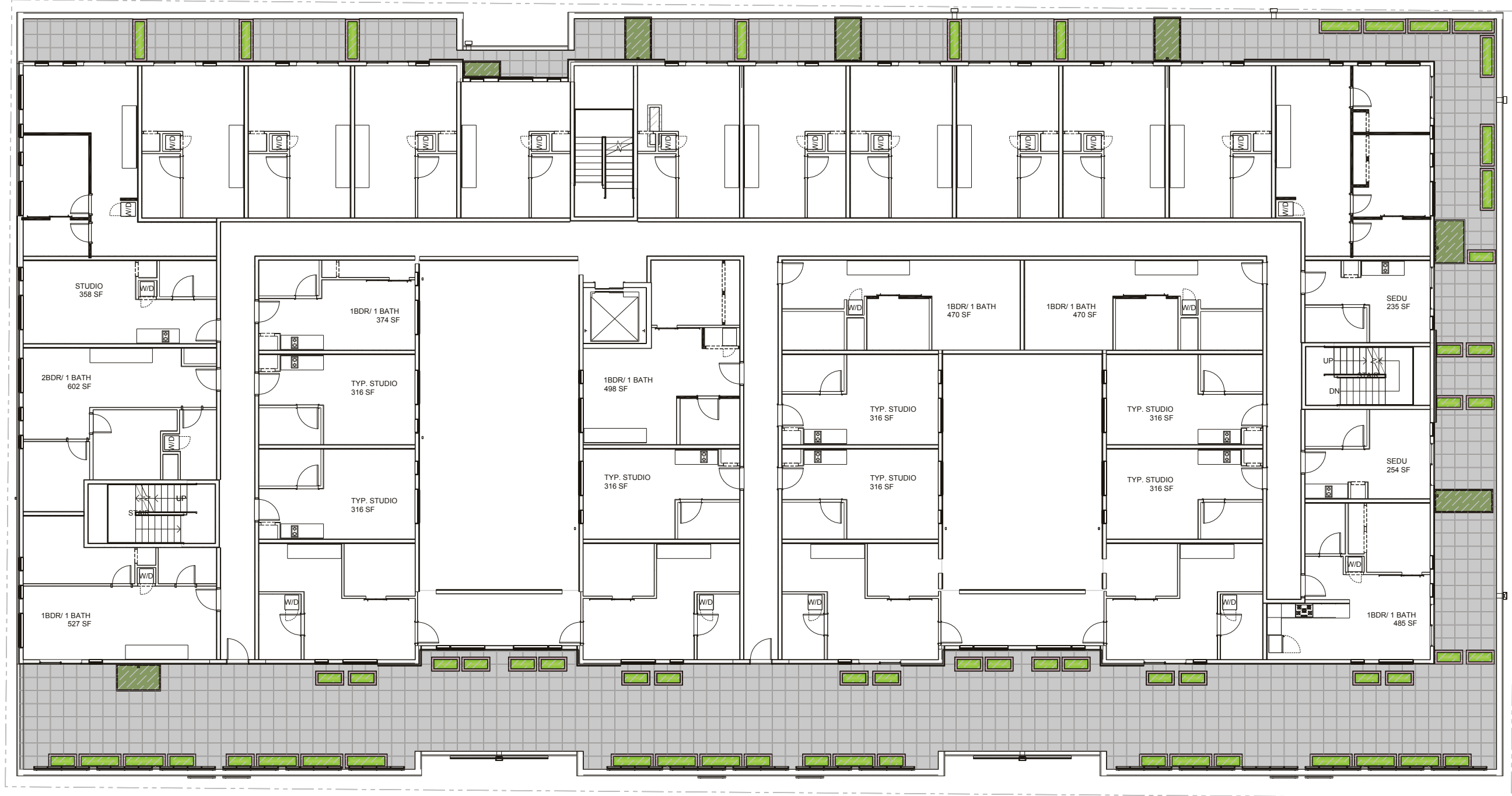
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1 of 2 SHEETS

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2 LANDSCAPE PLAN - ROOF GARDEN
1/16" = 1'-0"



1 LANDSCAPE PLAN - LEVEL 4
1/16" = 1'-0"

PLANT SCHEDULE

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	RAILING, SEE ARCHITECTURAL PLANS		

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LANDSCAPE PLAN

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2 of 2 SHEETS

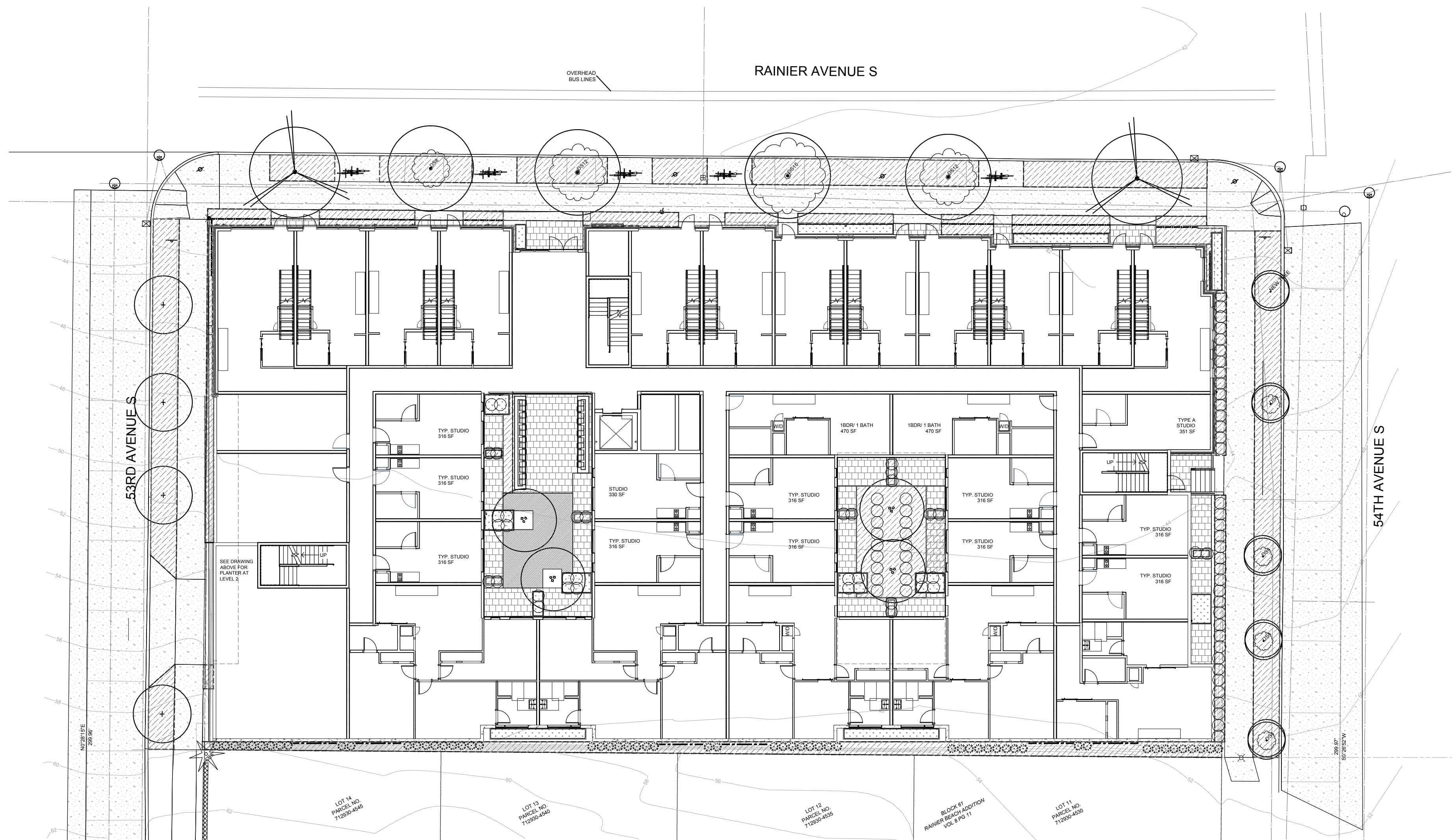
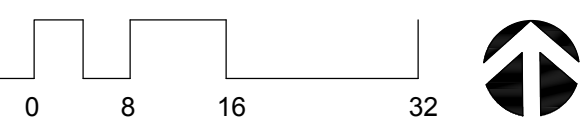
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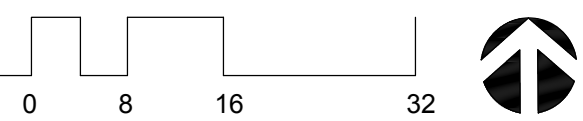
2 LANDSCAPE PLAN - LEVEL 2

1/16" = 1'-0"



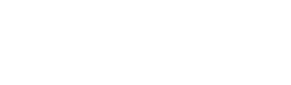
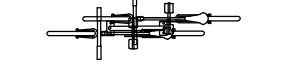
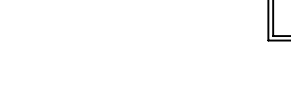
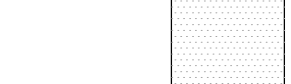
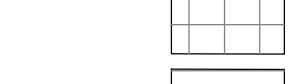
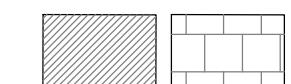
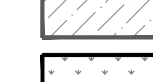
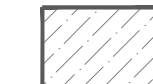
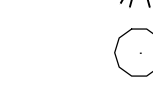
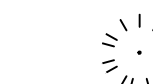
1 LANDSCAPE PLAN - GROUND LEVEL

1/16" = 1'-0"



PLANT SCHEDULE

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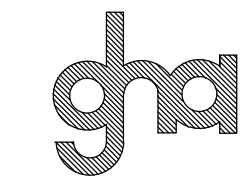
RAILING, SEE ARCHITECTURAL PLANS

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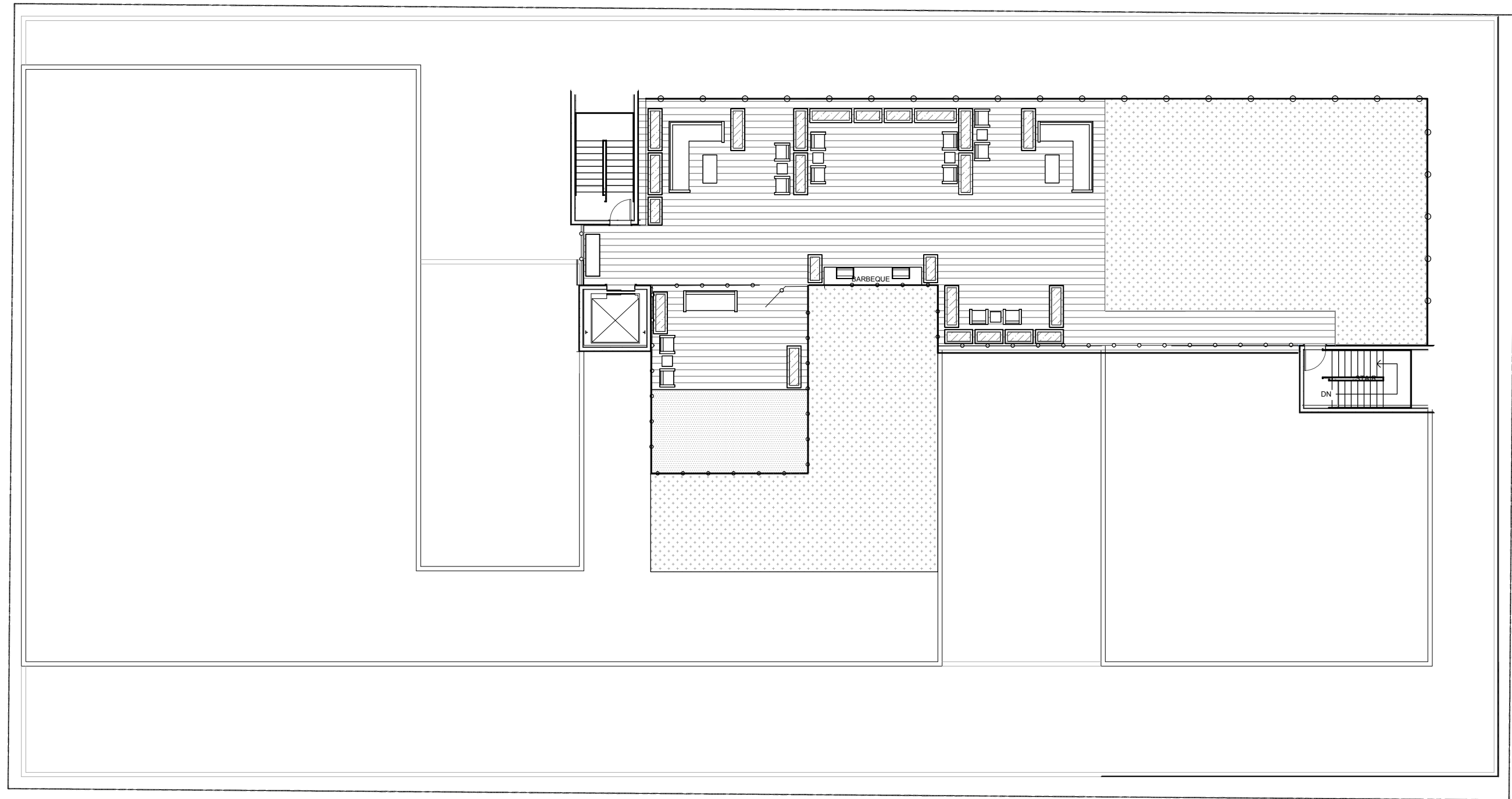
APARTMENT AND LIVE WORK UNITS
9367 RAINIER AVE S, SEATTLE
LANDSCAPE PLAN



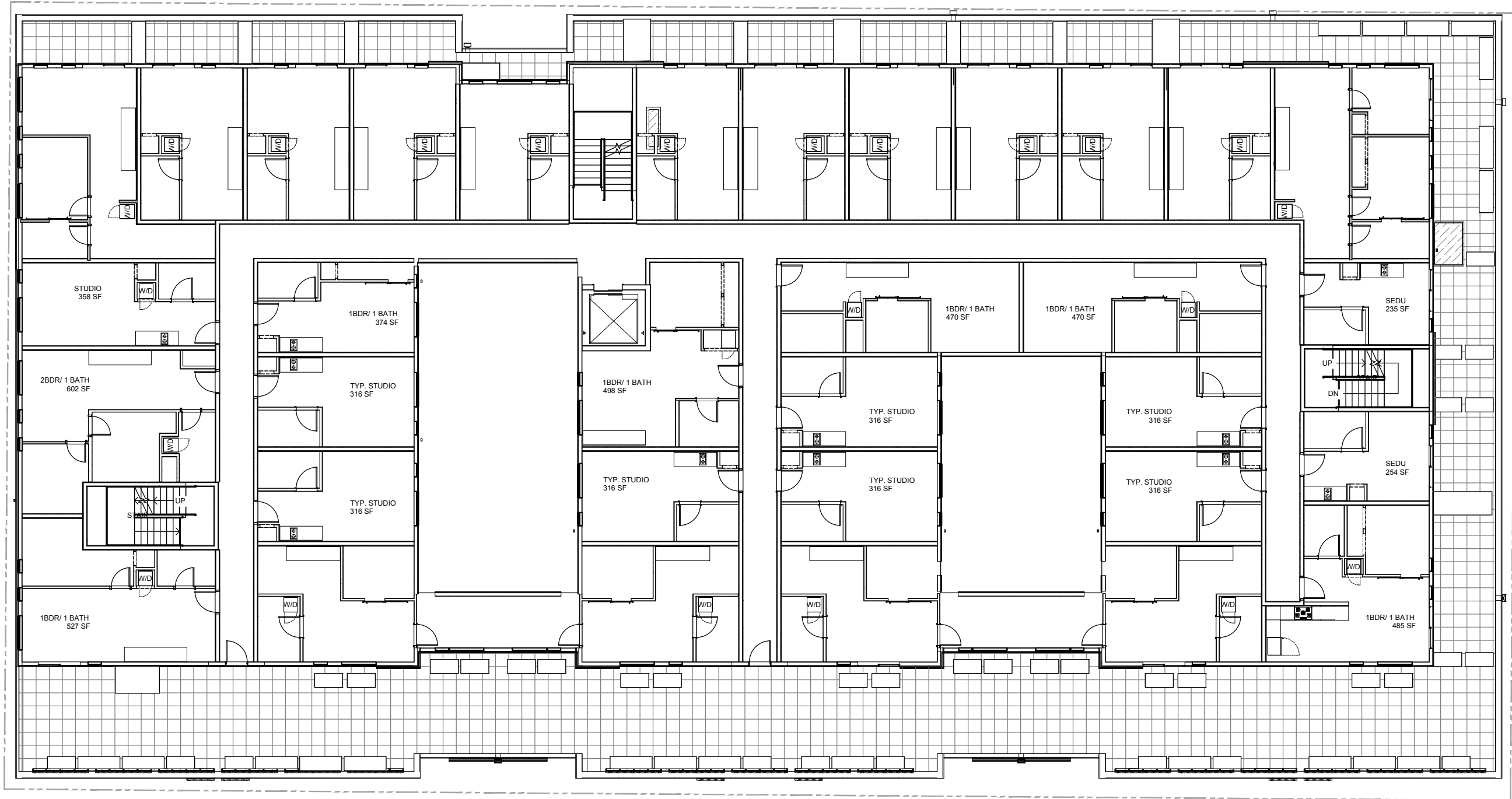
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1 of 4 SHEETS



2 LANDSCAPE PLAN - ROOF GARDEN
1/16" = 1'-0"



1 LANDSCAPE PLAN - LEVEL 4
1/16" = 1'-0"

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APARTMENT AND LIVE WORK UNITS
9367 RAINIER AVE S, SEATTLE
LANDSCAPE PLAN

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Neil Buchanan
CERTIFICATE No. 513

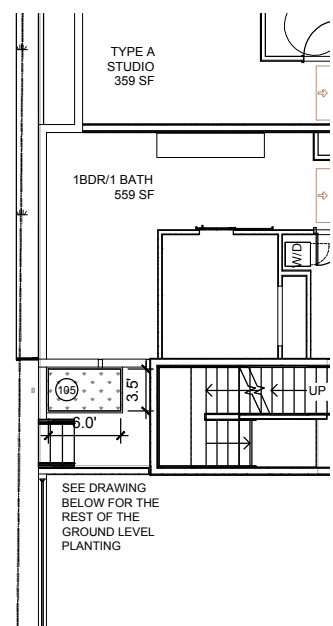
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2 of 4 SHEETS

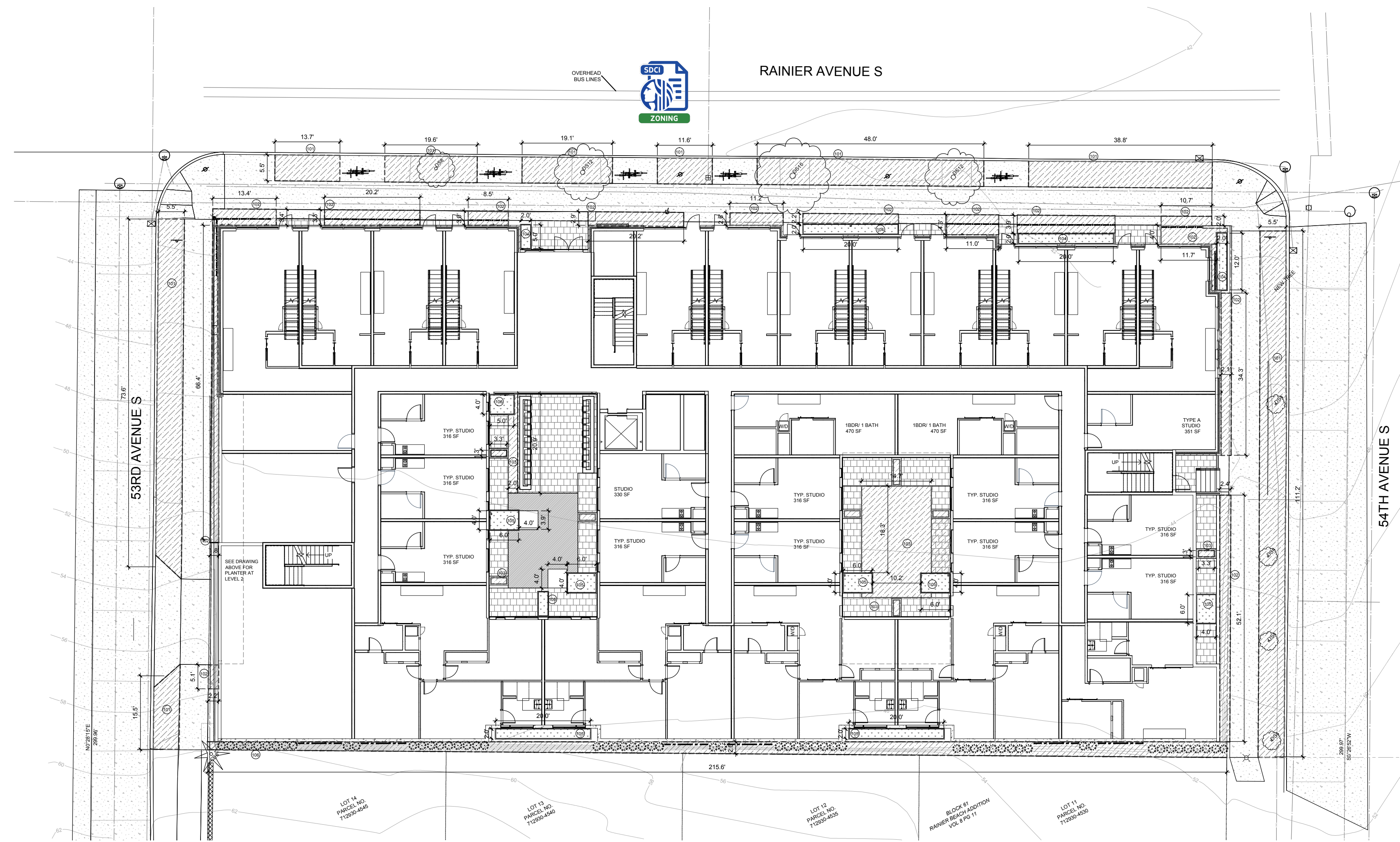
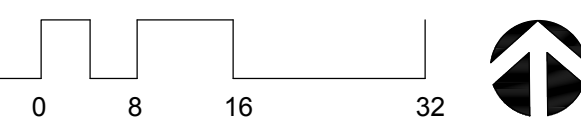
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2 GREEN FACTOR PLAN - LEVEL 2

1/16" = 1'-0"



1 GREEN FACTOR PLAN - GROUND LEVEL

1/16" = 1'-0"



Green Factor Worksheet		SEATTLE×green factor														Total		
Project title: 9367 RAINIER AVENUE, NC zone, 0.3 minimum		Planting Area																
		101	102	103	104	105	106	107	108	109	110		201		301		302	
Landscape Elements																		
	Measurement																	
A1	square feet	1936	770	450			539										3695	
A2	square feet				114	147		272									533	
B1	square feet	1936	770	450	114	147	539	272									4228	
B2	# of plants		37	33	0	20	58										148	
B3	# of plants																0	
B4	# of trees	2															2	
B5	# of trees	3															3	
B6	# of trees																0	
B7	# of trees																0	
B8	inches DBH	60															60	
C1	square feet																0	
C2	square feet										2543						2543	
C3	square feet								336	140							476	
D	square feet														651	345	996	
E1	square feet																0	
E2	square feet												1496				1496	
F	square feet																0	
G1	square feet	3736	1103	747	114	327	1061	272	336	140	2543						10379	
G2	square feet																0	
G3	square feet	3736	1103		114										651		5604	
G4	square feet																0	

REVISED 07-07-2020

REVISED 07-07-2020

Green Factor Scoresheet PAGE 2		SEATTLE×green factor		
C Green roofs				
1 Green roofs over at least 2" and less than 4" of growth medium	0 square feet	0.4	0	
2 Green roofs 4" - 8" of growth medium	2543 square feet	0.6	1,526	
3 Green roofs 8" + of growth medium	476 square feet	0.8	381	
D Vegetated walls	996 square feet	0.4	398	
NC, C, SM, and South Downtown zones only				
E Permeable paving	0 square feet	0.2	0	
1 Permeable paving over at least 6" and less than 24" of soil or gravel	1496 square feet	0.5	748	
2 Permeable paving over at least 24" of soil or gravel	0 square feet	0.5	0	
F Structural soil systems	0 square feet	0.5	0	
sub-total of sq ft =			17,099	
G Bonuses				
1 Landscaping that consists of drought-tolerant and/or native plant species	10379 square feet	0.1	1,038	
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater	0 square feet	0.2	0	
3 Vegetation visible to passersby from adjacent public right of way or public open spaces	5604 square feet	0.2	1,121	
4 Landscaping in food cultivation	0 square feet	0.1	0	
Green Factor numerator =			10,254	
* Do not count public rights-of-way in parcel size calculation.				
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).				
REVISED 07-07-2020				

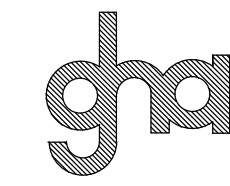
Green Factor Scoresheet PAGE 1		SEATTLE×green factor		
Project title: 9367 RAINIER AVENUE, NC zone, 0.3 minimum		Enter sq ft of parcel	25,209	
Parcel size		Score	0.417835	
Landscape Elements**		Totals calculate automatically from Green Factor Worksheet	Factor	Total
A Planted areas		3695 square feet	0.6	2,217
1 Planted areas with a soil depth of 24" or greater		391 square feet	1	391
2 Bioretention facilities		4086 square feet	0.1	409
B Plantings (credit for plants in landscaped areas from Section A)				
1 Mulch, ground covers, or other plants less than 2' tall at maturity	148 plants	1332	0.3	400
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	0 plants	0	0.3	0
3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)	2 trees	150	0.3	45
C Small Trees				
Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree	3 trees	450	0.5	225
D Medium/Large Trees				
Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 16' to 20') - calculated at 150 sq ft per tree	0 trees	0	0.7	0
E Large Trees				
Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree	0 trees	0	0.9	0
F Preserved Trees				
Tree canopy for preservation of existing trees with trunks 6" + DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter	60 inches	1200	1	1,200
* Do not count public rights-of-way in parcel size calculation.				
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REVISED 07-07-2020				

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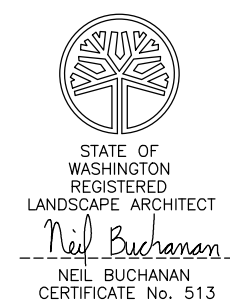
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APARTMENT AND LIVE WORK UNITS
9367 RAINIER AVE S, SEATTLE
GREEN FACTOR PLAN




DATE: 11-24-2021
SCALE: ON PLAN
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JOB: SHEET:

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3 of 4 SHEETS

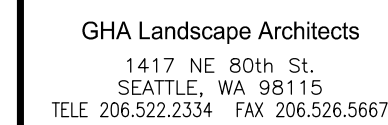


Green Factor Scoresheet PAGE 1		SEATTLE <i>× green factor</i>			
Project title: 9367 RAINIER AVENUE, NC zone, 0.3 minimum		Enter sq ft of parcel			
Parcel size		24,200		SCORE	0.41783
Landscape Elements**		Totals calculate automatically from Green Factor Worksheet		Factor	Total
A Planted areas					
1	Planted areas with a soil depth of 24" or greater	<div>395</div> <div>square feet</div>		0.6	2,312
B Bioretention facilities					
		<div>391</div> <div>square feet</div>		1	391
B Plantings (credit for plants in landscaped areas from Section A)					
1	Mulch, ground covers, or other plants less than 2" tall at maturity	<div>4086</div> <div>square feet</div>		0.1	409
2	Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	<div>148</div> <div>plants</div> <div>1332</div>		0.3	400
3	Large shrubs or perennials 4' + at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)	<div>0</div> <div>plants</div> <div>0</div>		0.3	0
4	Small Trees Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree	<div>2</div> <div>trees</div> <div>150</div>		0.3	45
5	Small/Medium Trees Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	<div>3</div> <div>trees</div> <div>450</div>		0.5	225
6	Medium/Large Trees Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	<div>0</div> <div>trees</div> <div>0</div>		0.7	0
7	Large Trees Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree	<div>0</div> <div>trees</div> <div>0</div>		0.9	0
8	Preserved Trees Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter	<div>60</div> <div>inches</div> <div>1200</div>		1	1,200

[illegible]

This landscape plan is diagrammatic, all dimensions are approximate and must be field verified.

© GHA Landscape Architects 2021



APPROVAL

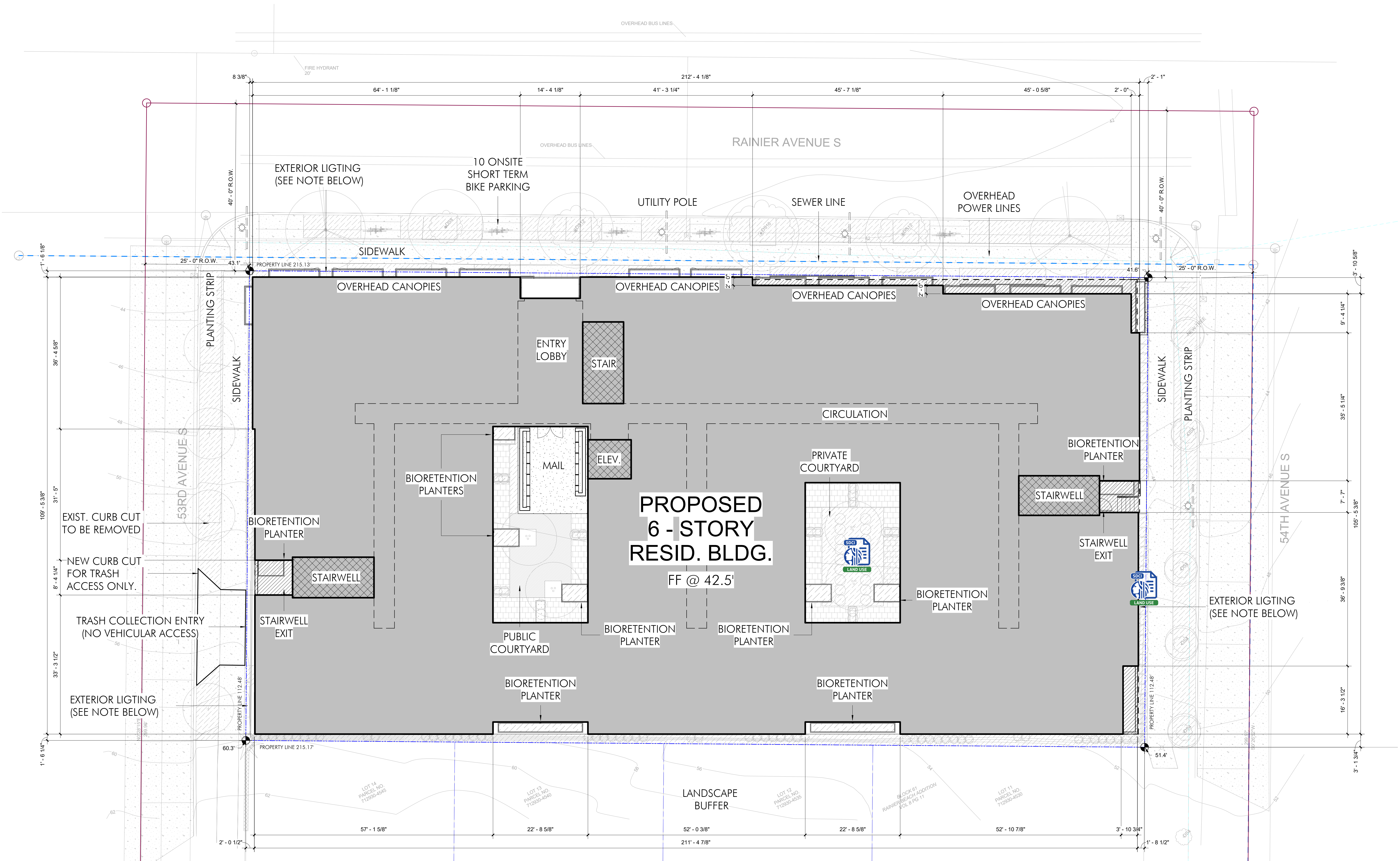
APARTMENT AND LIVE WORK UNITS
9367 RAINIER AVE S, SEATTLE
GREEN FACTOR PLAN



DATE:	11-24-2021
SCALE:	ON PLAN
DRAWN BY:	NB
JOB:	
SHEET:	

L1.4

4 of 4 SHEETS



1 SITE PLAN

1" = 10'-0"

LIGHT / GLARE STANDARDS

SMC 23.47A.022

EXTERIOR LIGHTING MUST BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES

BICYCLE PARKING

SMC 23.54.015.K
BICYCLE PARKING

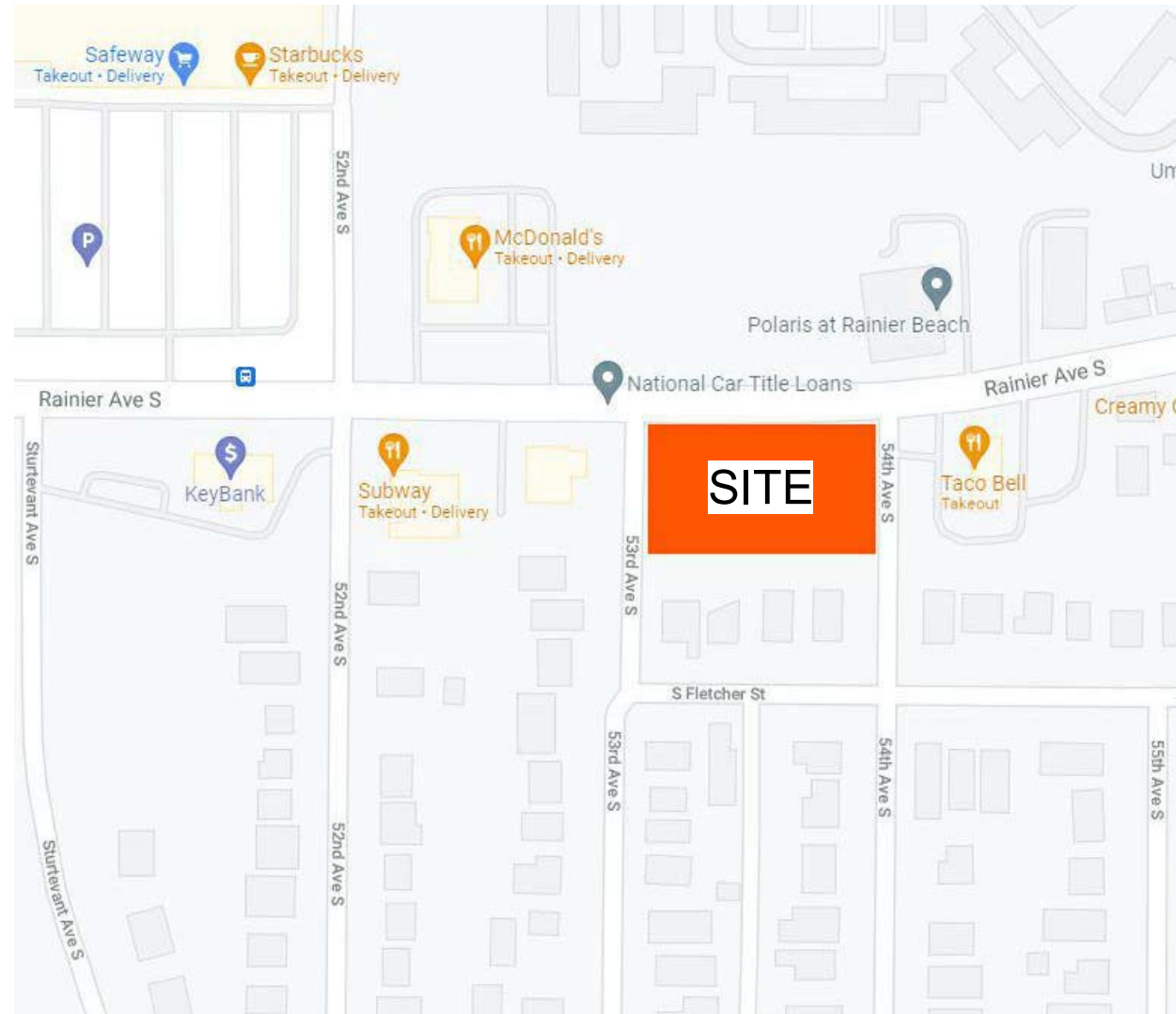
TOTAL DWELLING UNITS	192
REQUIRED LONG TERM	192 STALLS
PROVIDED	192 STALLS
REQUIRED SHORT TERM	9.2 STALLS
PROVIDED	10 STALLS

SITE PLAN INFORMATION

OWNER / APPLICANT:	PROJECT S38 LLC. 18605 17TH AVE NW SHORELINE, WA 98177
PROJECT ADDRESS:	9367 RAINIER AVE S, SEATTLE, WA 98118
PARCEL NUMBER:	712930 - 4500
LEGAL DESCRIPTION:	RAINIER BEACH ADD & POR VAC ALLEY ADJ TGW WEST 5.00 FT OF 54TH AVE SOUTH VAC UNDER VOL 14 PAGE 247
PARCEL AREA:	24,188 SF (0.56 ACRES)



VICINITY MAP



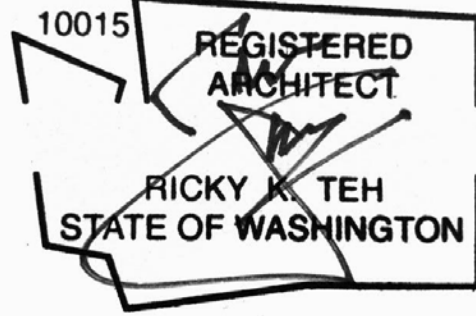
PROJECT S38 LLC.
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SHORELINE, WA, 98177
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S38 BODE RAINIER RESIDENTIAL APARTMENT

ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
3038509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

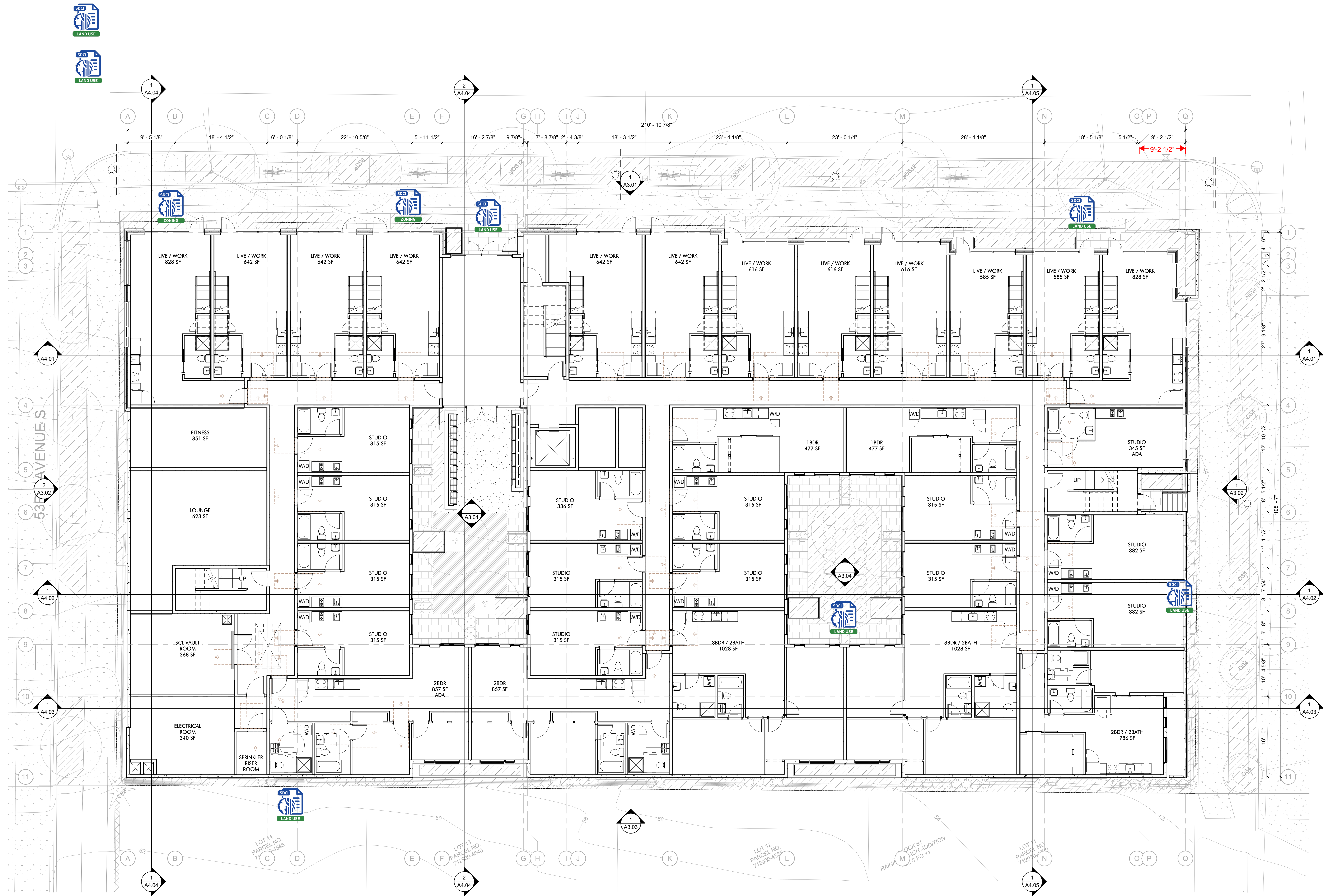
SEAL:



SDCI APPROVAL STAMP:

SITE PLAN

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1" = 10'-0"	A1.01



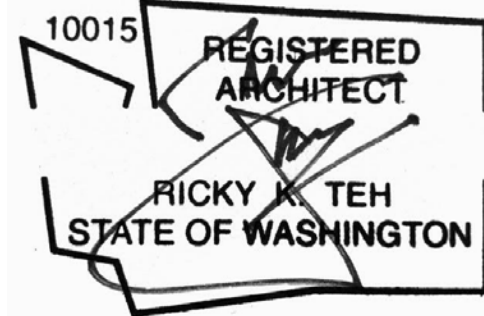
1 LEVEL 1 - PLAN
1/8" = 1'-0"

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RESIDENTIAL APARTMENT

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3038509LU
DEVELOPMENT + DESIGN: BODE

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SDCI APPROVAL STAMP:

LEVEL 1 FLOOR
PLAN

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A2.01

SOLID WASTE / RECYCLABLE STORAGE AND ACCESS:

SMC 23.54.040 / TABLE A

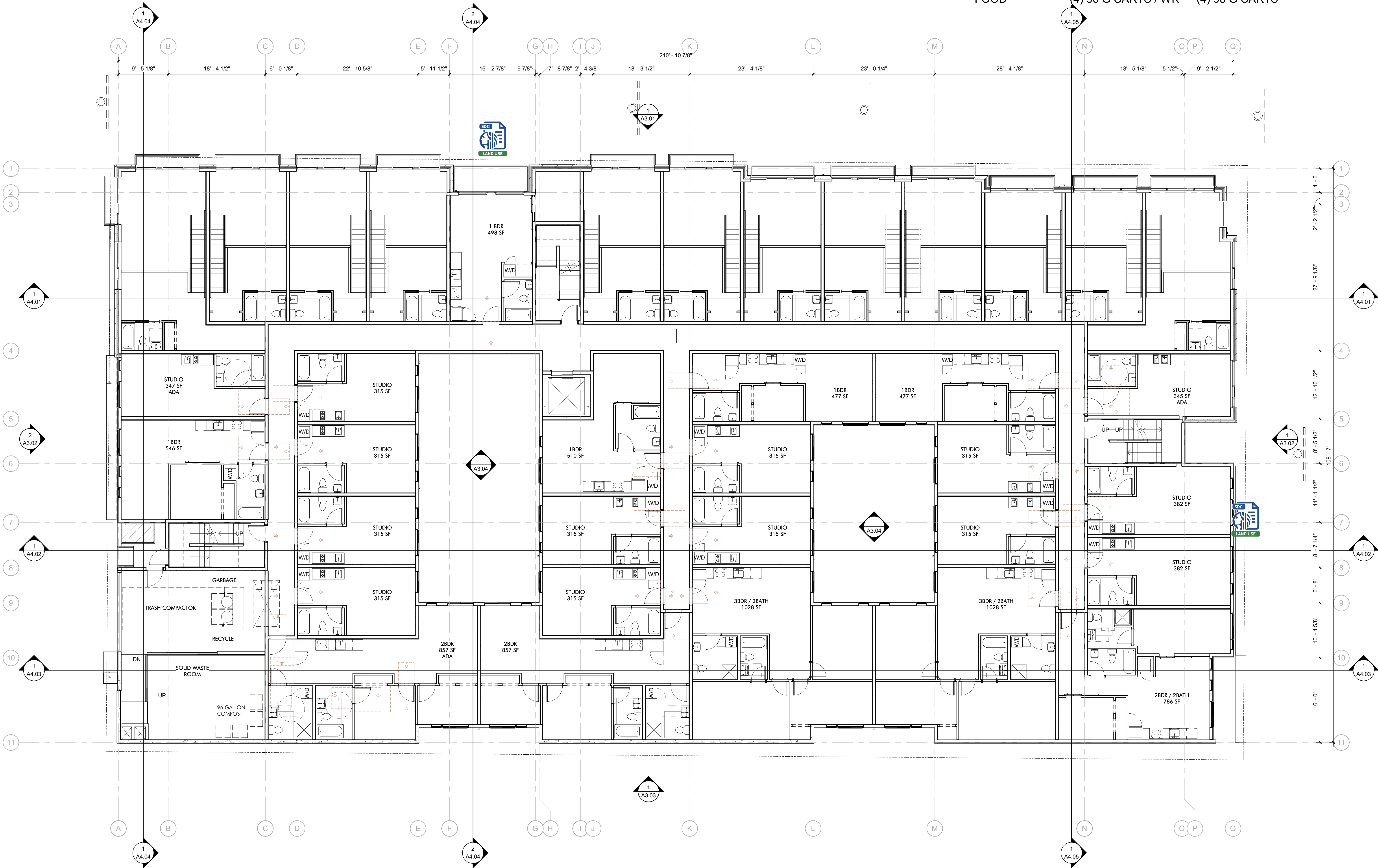
RESIDENTIAL DEVELOPMENT	MIN. AREA REQ. FOR STORAGE SPACE	REQUIRED STORAGE SPACE
MORE THAN 100 DWELLING UNITS	575 SQ. FT. PLUS 4 SQ. FT. FOR EA. UNIT ABOVE 100	RESIDENTIAL TOTAL 575 SQ. FT. PLUS (4 SQ. FT. X 92 DWELLING UNITS) = 368 SQ. FT 943 SQ. FT.
NON - RESIDENTIAL DEVELOPMENT		
5,001 - 15,000 SQ. FT.	125 SQ. FT.	NON - RESIDENTIAL TOTAL 125 SQ. FT.
TOTAL DWELLING UNITS	192	TOTAL REQUIRED 943 + 125 = 1,068 SQ. FT
TOTAL LIVE / WORK SQ. FT.	5,258 SQ. FT.	TOTAL PROVIDED 1,752 SQ. FT.

REQUIRED MIN. SERVICE LEVELS FOR: 180 D.U. / 12 LIVE / WORKS

PROJECT PROPOSES ON-SITE ROLL-OFF COMPACTION SERVICE THAT ACCOMODATES 14 CY OF GARBAGE AND 14 CY OF RECYCLE

USAGE	REQUIRED	PROVIDED
GARBAGE	20 CY / WK	14 CY COMPACTED GARBAGE
RECYCLE	30 CY / WK	14 CY COMPACTED RECYCLE
FOOD	(4) 96 G CARTS / WK	(4) 96 G CARTS

COMMERCIAL USE:
(3) 2 YD RECYCLE DUMPSTERS
ACCOMMODATES 5 CY / WK



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3038509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

SEAL:

10015
REGISTERED
ARCHITECT
RICKY K. TEH
STATE OF WASHINGTON

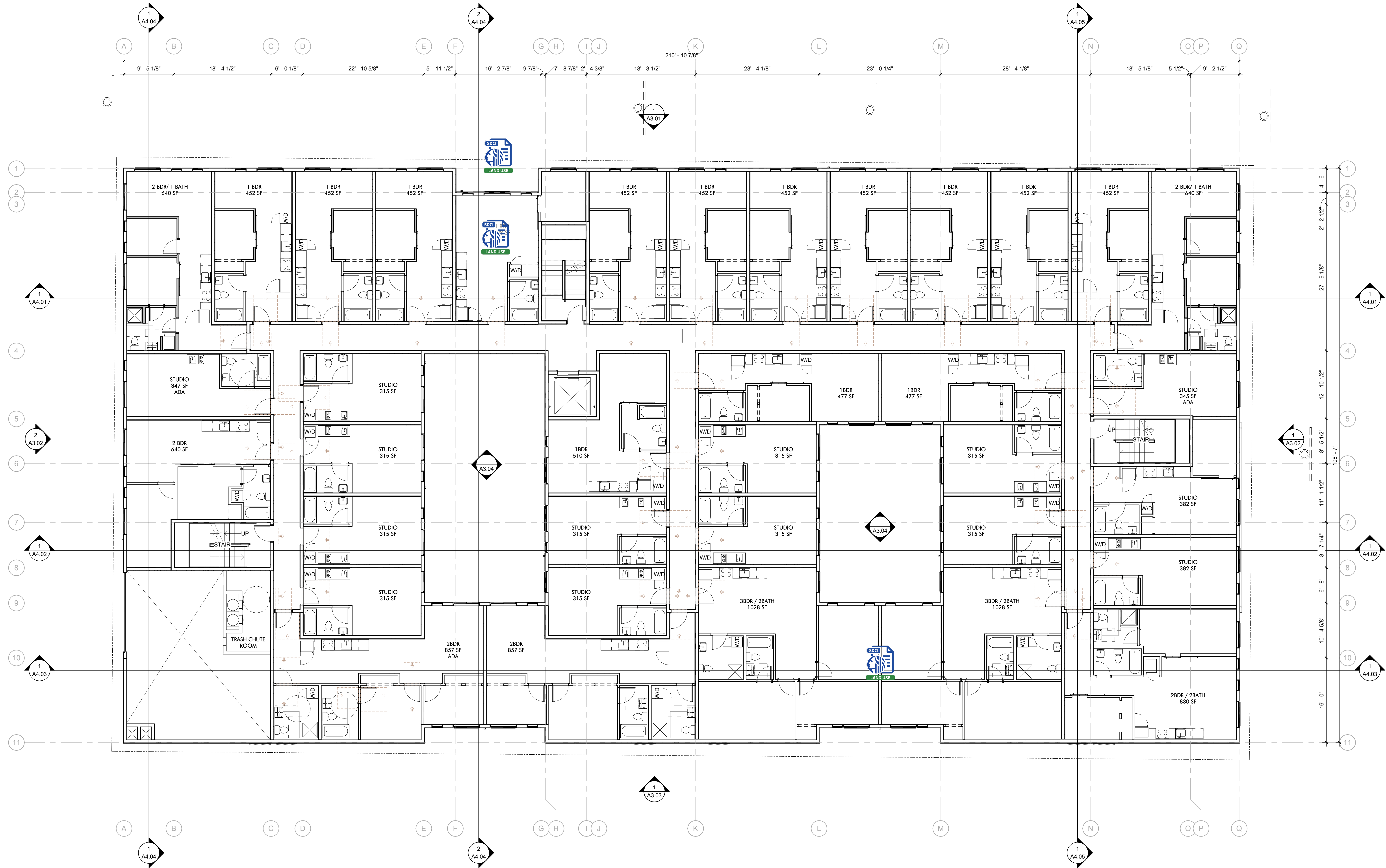
SDCI APPROVAL STAMP:

LEVEL 2 FLOOR
PLAN

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A2.02



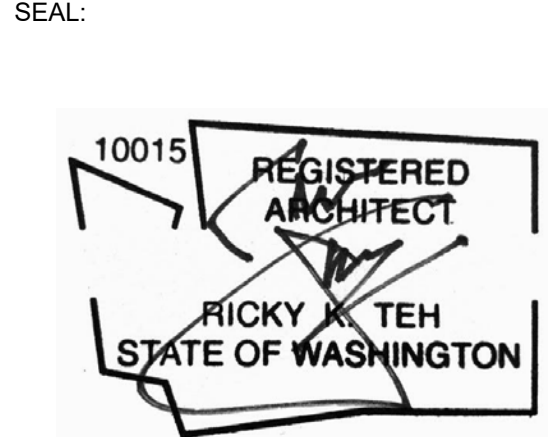
1 LEVEL 3 - PLAN
1/8" = 1'-0"



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REVISION	DATE	REASON FOR ISSUE



SDGI APPROVAL STAMP:

LEVEL 3 FLOOR PLAN

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A2.03

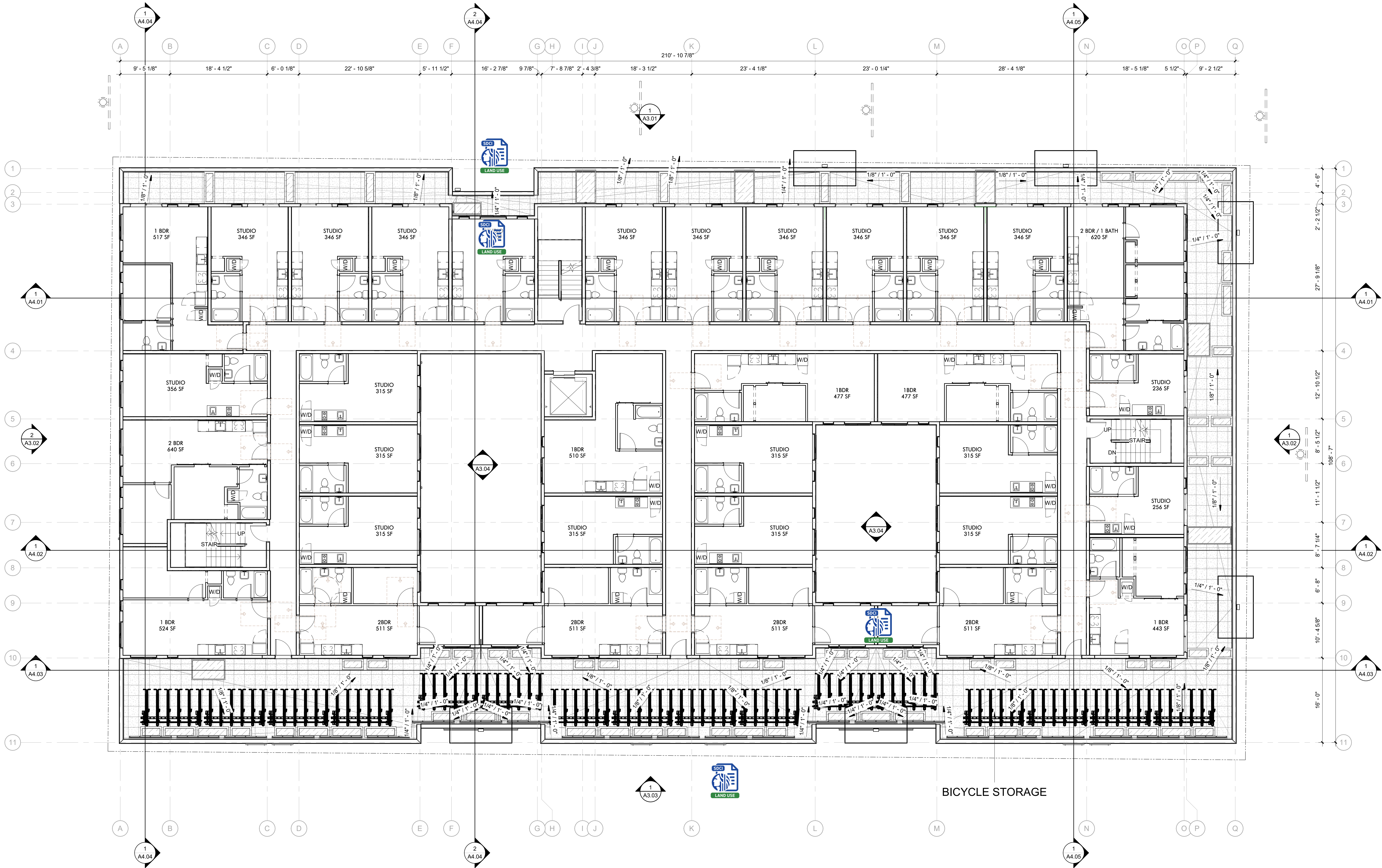


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BICYCLE PARKING:

SMC 23.54.015.K / TABLE D

RESIDENTIAL USES	LONG TERM	SHORT TERM
	1 PER D.U.	1 PER 20 D.U.
TOTAL DWELLING UNITS		192
REQUIRED LONG TERM STALLS		192
PROVIDED		192 STALLS
REQUIRED SHORT TERM STALLS		9.6
PROVIDED		10 STALLS

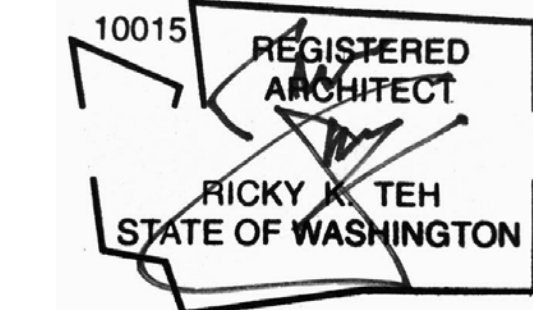


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RESIDENTIAL APARTMENT**

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REVISION	DATE	REASON FOR ISSUE

SEAL:



SDCI APPROVAL STAMP:

**LEVEL 4 FLOOR
PLAN**

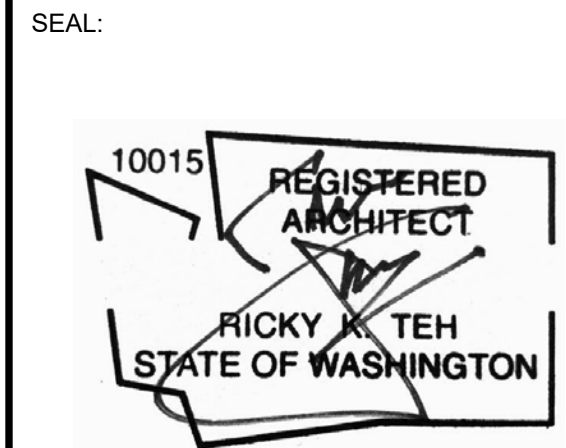
DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A2.04



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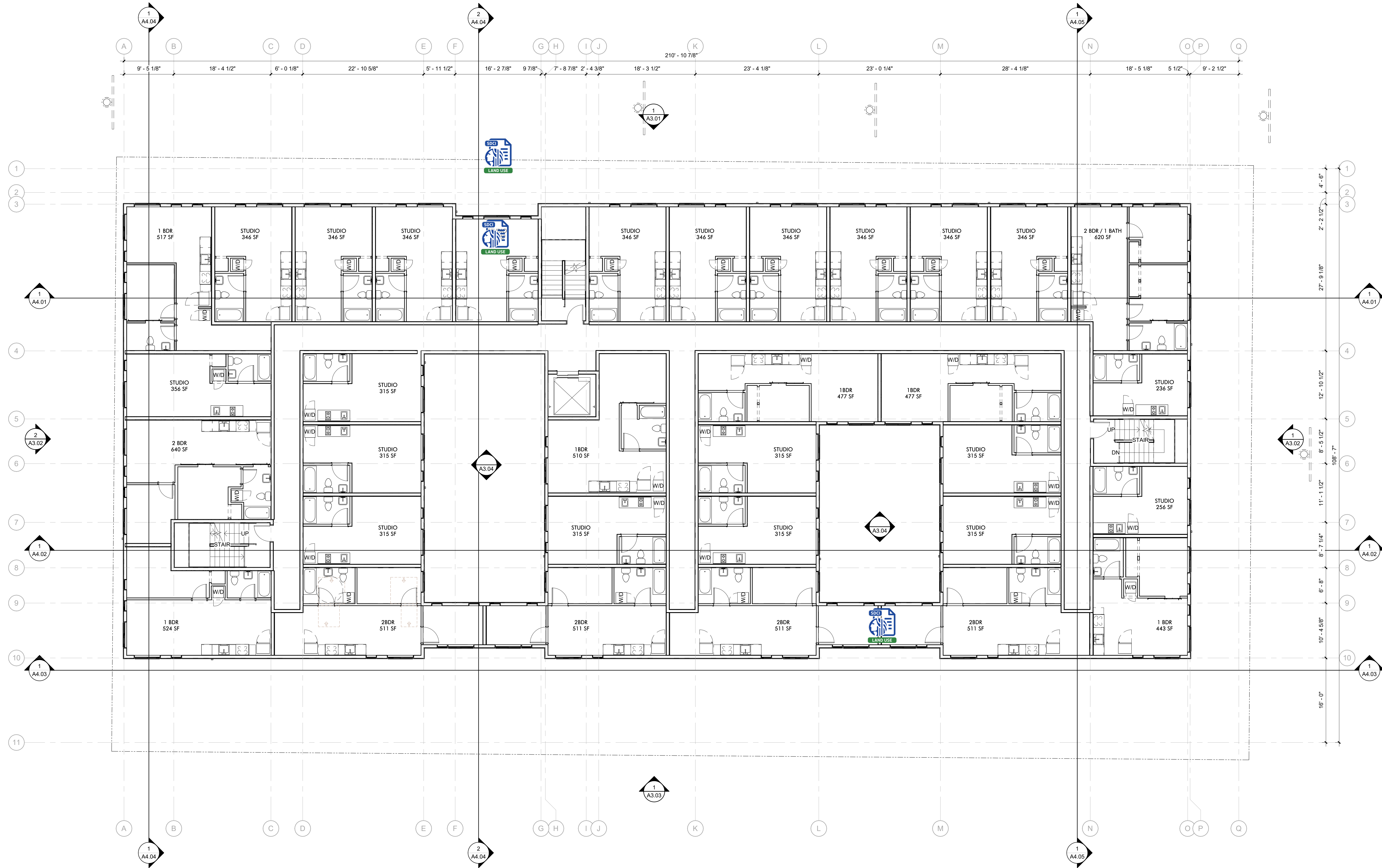
REVISION	DATE	REASON FOR ISSUE



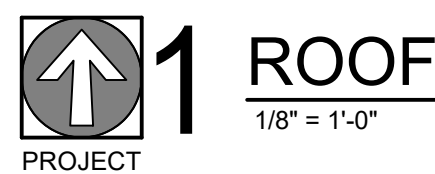
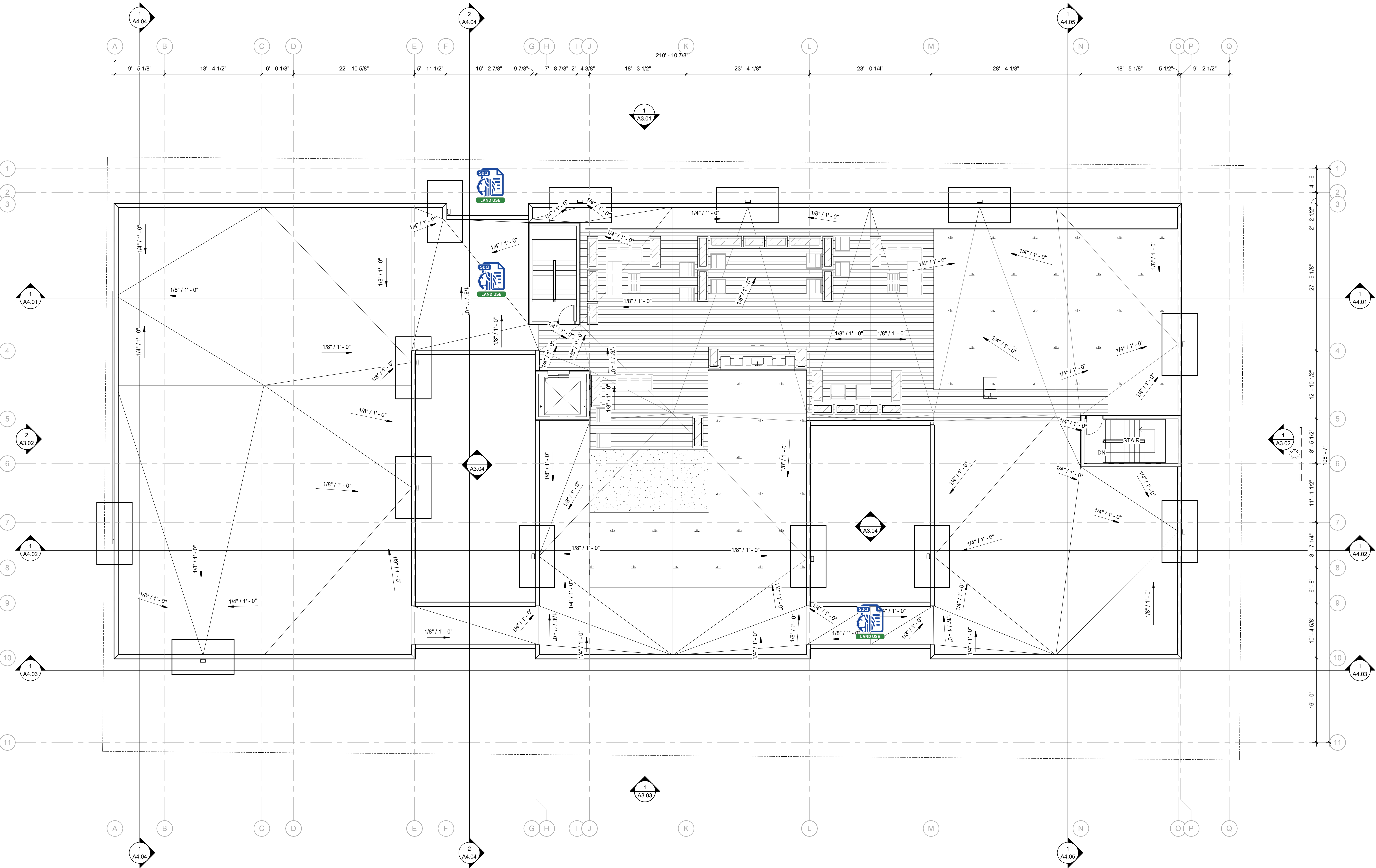
SDCI APPROVAL STAMP:

LEVEL 5 - 6 FLOOR
PLAN, TYP.

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A2.05



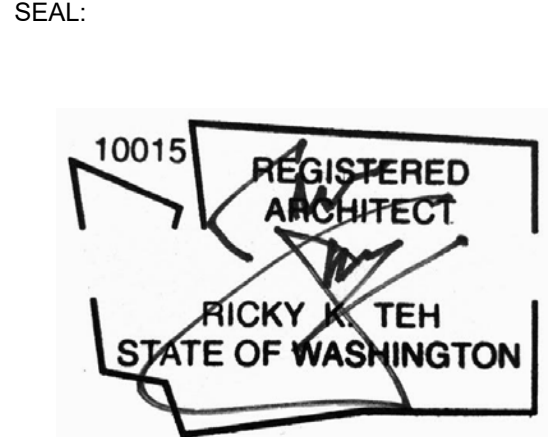
1 LEVEL 5 / 6 - PLAN
1/8" = 1'-0"



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REVISION	DATE	REASON FOR ISSUE



SDCI APPROVAL STAMP:

ROOF PLAN

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER A2.06
SCALE 1/8" = 1'-0"	



1 NORTH - ELEVATION
1/8" = 1'-0"

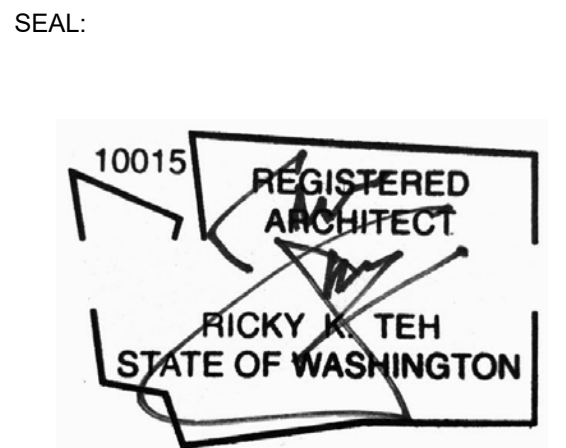
KEYNOTE LEGEND		
NUMBER		DESCRIPTION
01		THIN BRICK CLADDING - DARK GRAY
02		FIBER CEMENT PANEL - WHITE
03		FIBER CEMENT PANEL - DARK GRAY
04		FIBER CEMENT PANEL - ORANGE BROWN
05		FINISHED CONCRETE
06		CONCRETE RETAINING WALL
07		FIBERGLASS WINDOW SYSTEM - BLACK
08		VINYL WINDOW SYSTEM - WHITE
09		CANOPY
10		GLASS RAILING
11		GUTTER
12		SCUPPER W/ DOWNSPOUT
13		DOWNSPOUT
14		OVERHEAD DOOR
15		TRELLIS
16		BIORETENTION PLANTERS
17		GLASS PARTITION WALL
18		ART INSTALLATION
19		PER 2018 IBC CODE FOR TYPE III-A, WOOD FLOOR TO BE 2 HR RATED FOR ALL STRUCTURAL WALLS
20		CONCRETE WALL
21		WOOD FRAMED WALL
22		EXHAUST SHAFT



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SDCI APPROVAL STAMP:

BUILDING ELEVATIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A3.01



2 WEST - ELEVATION

1/8" = 1'-0"



1 EAST - ELEVATION

1/8" = 1'-0"

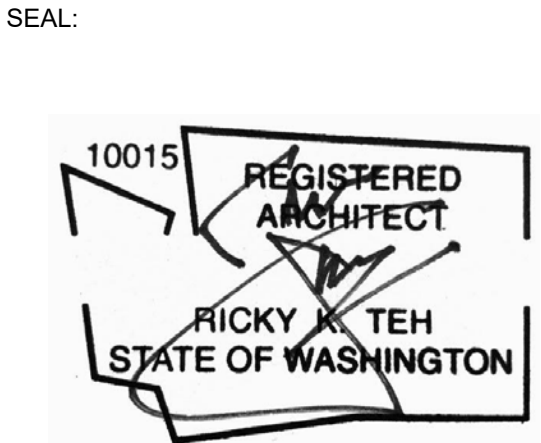
KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	THIN BRICK CLADDING - DARK GRAY
02	FIBER CEMENT PANEL - WHITE
03	FIBER CEMENT PANEL - DARK GRAY
04	FIBER CEMENT PANEL - ORANGE BROWN
05	FINISHED CONCRETE
06	CONCRETE RETAINING WALL
07	FIBERGLASS WINDOW SYSTEM - BLACK
08	VINYL WINDOW SYSTEM - WHITE
09	CANOPY
10	GLASS RAILING
11	GUTTER
12	SCUPPER W/ DOWNSPOUT
13	DOWNSPOUT
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SDCI APPROVAL STAMP:

BUILDING ELEVATIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A3.02



1 SOUTH - ELEVATION
1/8" = 1'-0"

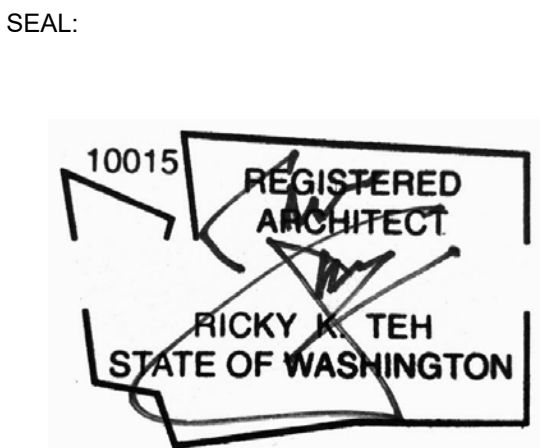
KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	THIN BRICK CLADDING - DARK GRAY
02	FIBER CEMENT PANEL - WHITE
03	FIBER CEMENT PANEL - DARK GRAY
04	FIBER CEMENT PANEL - ORANGE BROWN
05	FINISHED CONCRETE
06	CONCRETE RETAINING WALL
07	FIBERGLASS WINDOW SYSTEM - BLACK
08	VINYL WINDOW SYSTEM - WHITE
09	CANOPY
10	GLASS RAILING
11	GUTTER
12	SCUPPER W/ DOWNSPOUT
13	DOWNSPOUT
14	OVERHEAD DOOR
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SDCI APPROVAL STAMP:

BUILDING ELEVATIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A3.03

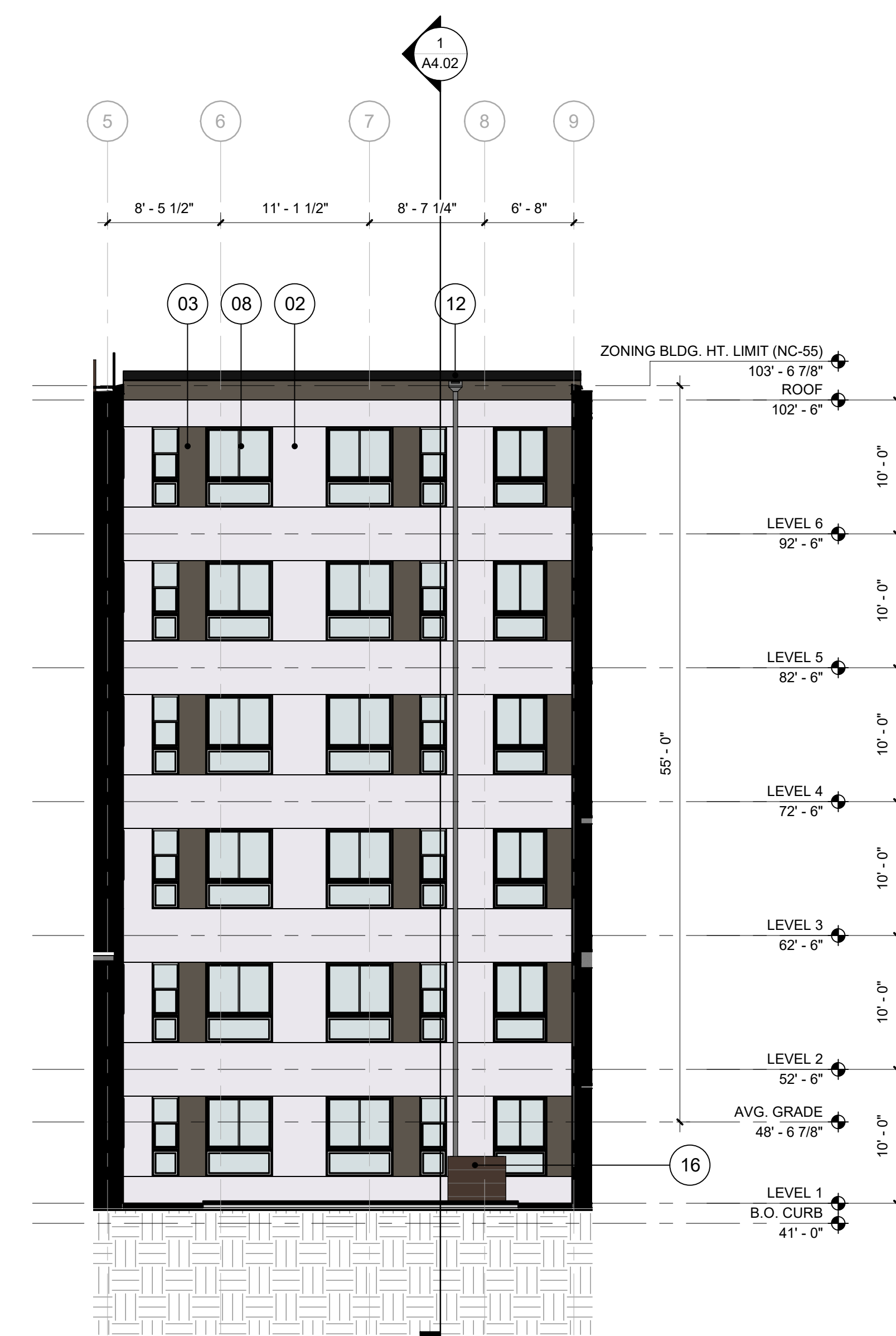


8 EAST COURTYARD - NORTH
1/8" = 1'-0"

7 EAST COURTYARD - WEST
1/8" = 1'-0"



6 EAST COURTYARD - SOUTH
1/8" = 1'-0"



5 EAST COURTYARD - EAST
1/8" = 1'-0"

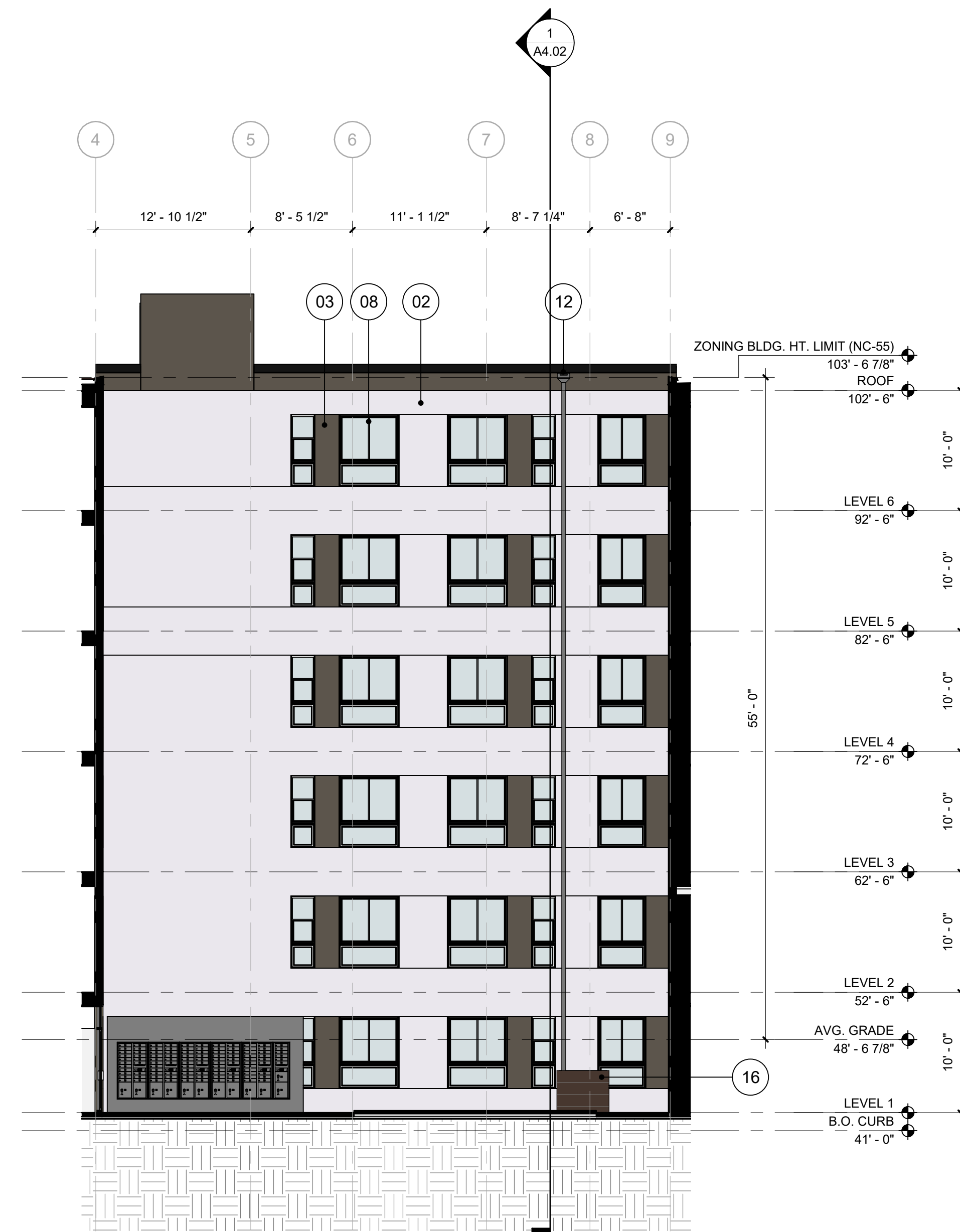


4 WEST COURTYARD - NORTH
1/8" = 1'-0"

3 WEST COURTYARD - WEST
1/8" = 1'-0"



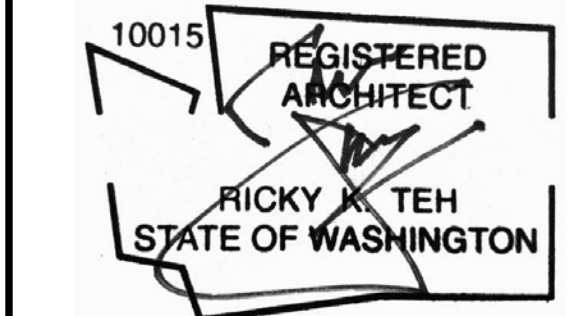
2 WEST COURTYARD - SOUTH
1/8" = 1'-0"



1 WEST COURTYARD - EAST
1/8" = 1'-0"

REVISION	DATE	REASON FOR ISSUE

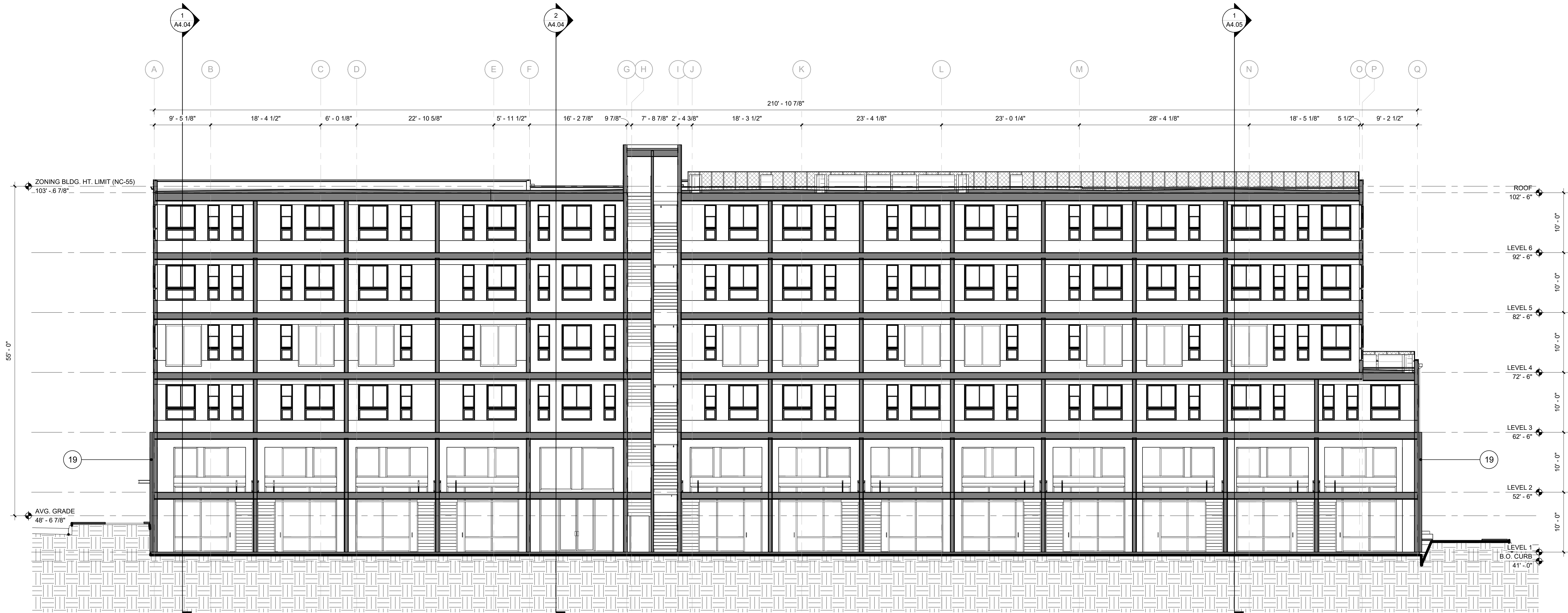
SEAL:



SDCI APPROVAL STAMP:

**BUILDING
ELEVATIONS -
COURTYARD**

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A3.04



1 A - A - SECTION
1/8" = 1'-0"

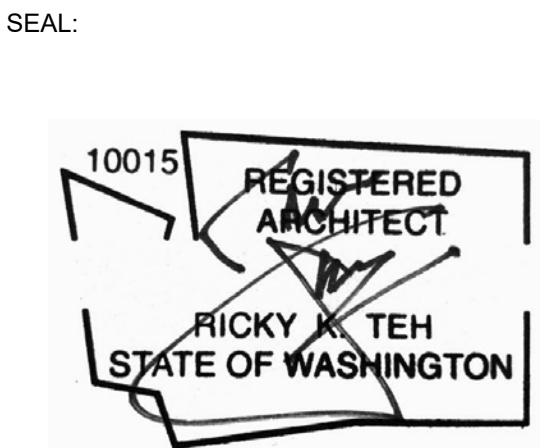
KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	THIN BRICK CLADDING - DARK GRAY
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SDCI APPROVAL STAMP:

BUILDING SECTIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A4.01



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ADDRESS: 9367 RAINIER AVE S, SEATTLE, WA 98118
30385091U
DEVELOPMENT + DESIGN: BODE

SEAL:

10015

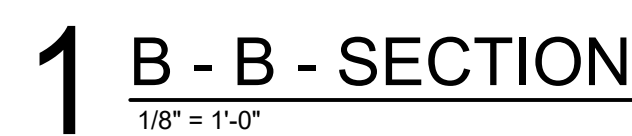
REGISTERED
ARCHITECT

RICKY K. TEH

STATE OF WASHINGTON

BUILDING SECTIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A4.02





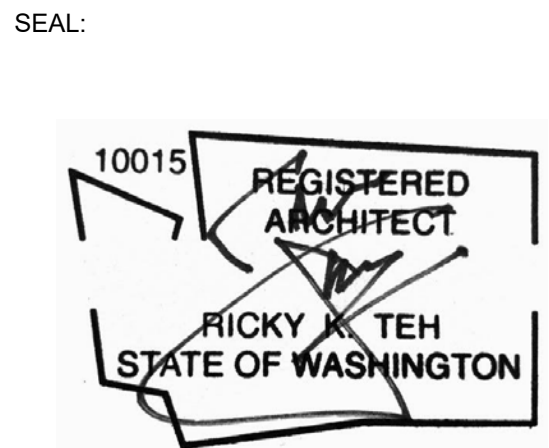
KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	THIN BRICK CLADDING - DARK GRAY
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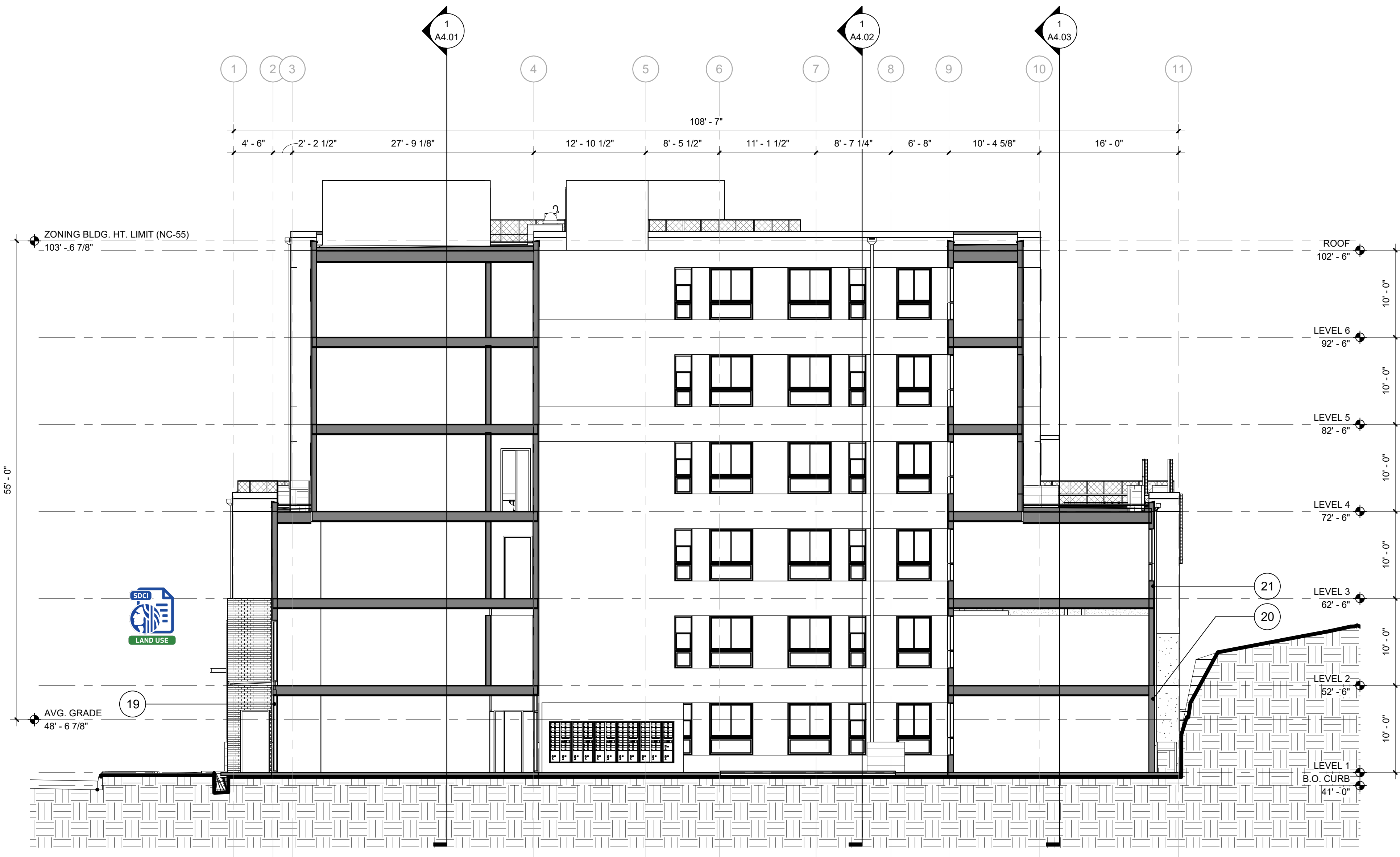
REVISION	DATE	REASON FOR ISSUE



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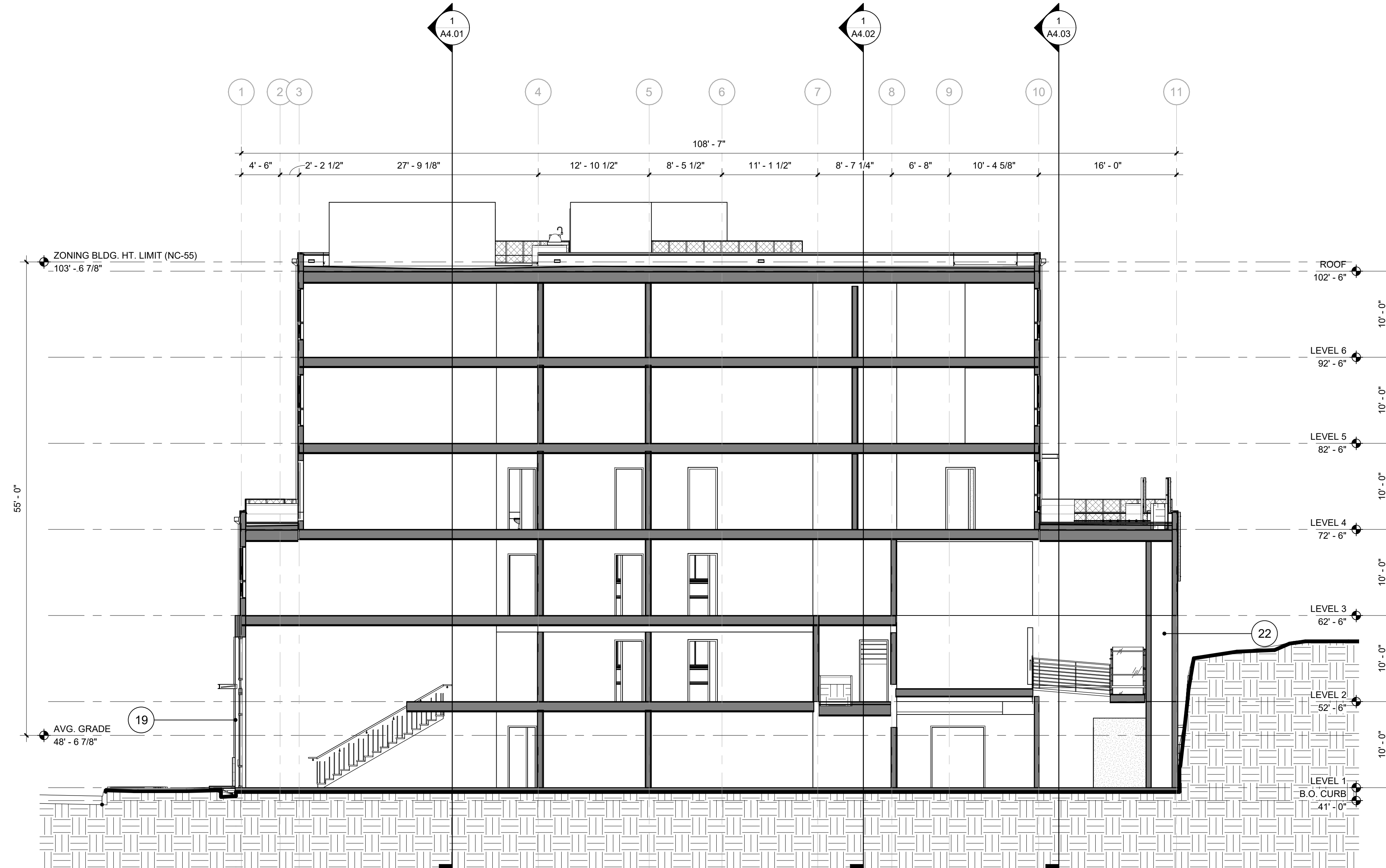
BUILDING SECTIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A4.03



2 E - E - SECTION

1/8" = 1'-0"



1 D - D - SECTION

1/8" = 1'-0"

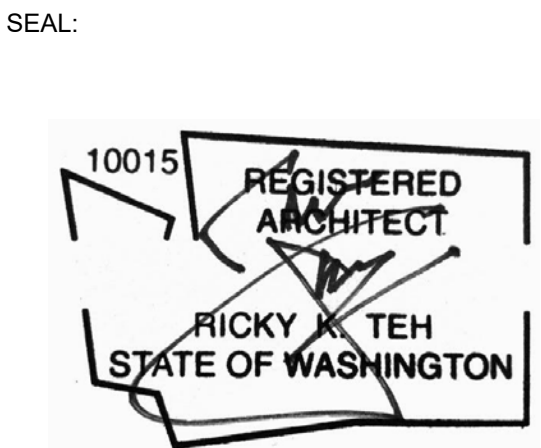
KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	THIN BRICK CLADDING - DARK GRAY
02	FIBER CEMENT PANEL - WHITE
03	FIBER CEMENT PANEL - DARK GRAY
04	FIBER CEMENT PANEL - ORANGE BROWN
05	FINISHED CONCRETE
06	CONCRETE RETAINING WALL
07	FIBERGLASS WINDOW SYSTEM - BLACK
08	VINYL WINDOW SYSTEM - WHITE
09	CANOPY
10	GLASS RAILING
11	GUTTER
12	SCUPPER W/ DOWNSPOUT
13	DOWNSPOUT
14	OVERHEAD DOOR
15	TRELLIS
16	BIORETENTION PLANTERS
17	GLASS PARTITION WALL
18	ART INSTALLATION
19	PER 2018 IBC CODE FOR TYPE III-A, WOOD FLOOR TO BE 2 HR RATED FOR ALL STRUCTURAL WALLS
20	CONCRETE WALL
21	WOOD FRAMED WALL
22	EXHAUST SHAFT



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3038509LU
DEVELOPMENT + DESIGN: BODE

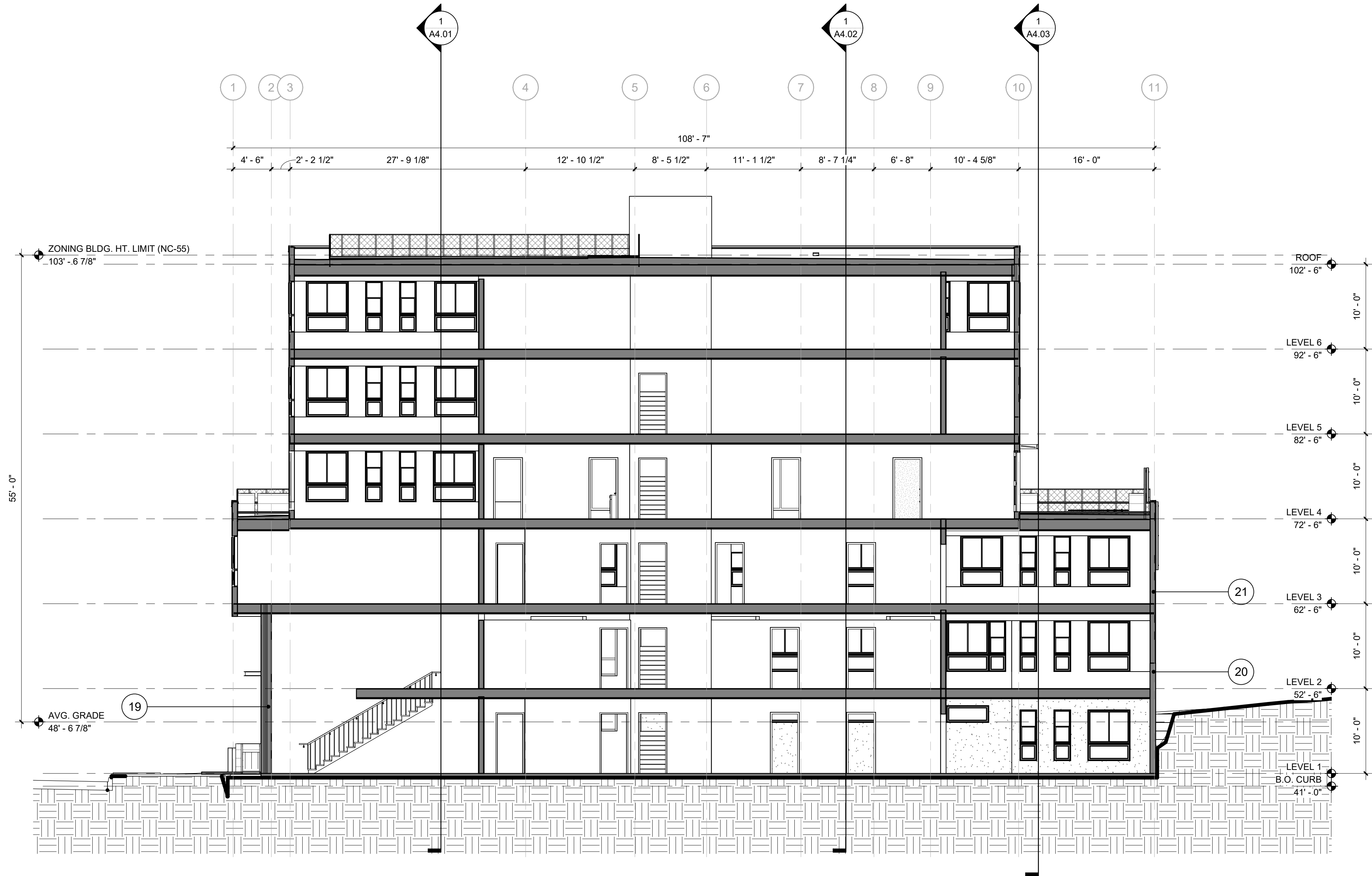
REVISION	DATE	REASON FOR ISSUE



SDCI APPROVAL STAMP:

BUILDING SECTIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER
SCALE 1/8" = 1'-0"	A4.04



1 F - F - SECTION
1/8" = 1'-0"

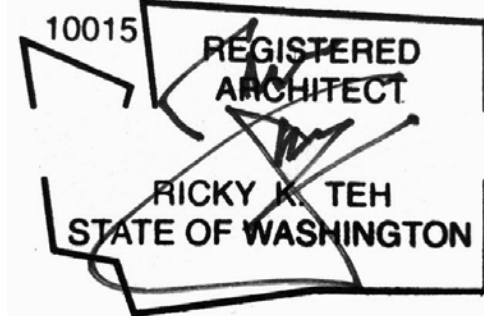


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3038509LU
DEVELOPMENT + DESIGN: BODE

REVISION	DATE	REASON FOR ISSUE

SEAL:



SDCI APPROVAL STAMP:

BUILDING SECTIONS

DATE ISSUE DATE	REVISION
PROJECT NUMBER 3038509LU	SHEET NUMBER A4.05
SCALE 1/8" = 1'-0"	

General Comments



Review Type: Transportation DPD





General Comments



Consolidated Review_Markup Summary 5-27-2022

*

Addressing (2)



Subject: LLegal Description
Page Index: 2
Author: Sherri Brown
X: 21.1574 in
Y: 8.5455 in
Layer: Review Comment
Review Type: Addressing

Legal Description to read:
LOTS 7-10, BLOCK 61, RAINIER BEACH ADD, RAINIER BEACH ADD TGW N 1/2 OF VAC ALLEY
ADJ TGW WEST 5.00 FT OF 54TH AVE SOUTH



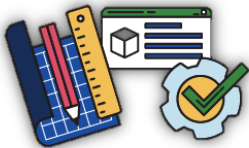
Subject: LLegal Description
Page Index: 23
Author: Sherri Brown
X: 25.9301 in
Y: 26.7448 in
Layer: Review Comment
Review Type: Addressing

Legal description to read:
LOTS 7-10, BLOCK 61, RAINIER BEACH ADD, RAINIER BEACH ADD TGW N 1/2 OF VAC ALLEY
ADJ TGW WEST 5.00 FT OF 54TH AVE SOUTH

*

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

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[Codes](#)



ECA GeoTech (3)

*



Subject: Conceptual Foundation Plan
Page Index: 40
Author: Pao Huang
X: 0.8571 in
Y: 1.6268 in
Layer: Review Comment
Review Type: ECA GeoTech

Please provide conceptual foundation plan based on the geotechnical recommendations for the proposed development. The conceptual plan should show the foundation type and show the foundation will be founded on the competent soil. If foundation will be founded on improved ground, please show ground improvement type and the extent and depth of the ground improvement zone (in concept).

[FOR INFORMATION ONLY]
If the rigid inclusion is proposed as the ground improvement for the foundation system in the construction permit application, a third-party peer review will be required for the seismic performance of the rigid inclusions in liquefiable soils.

If aggregate pier is proposed as the ground improvement for the foundation system in the construction permit application, depending on the design philosophy, a third-party peer review may be required for the seismic performance of the aggregate piers in liquefiable soils.



Subject: Contaminated soils and groundwater
Page Index: 10
Author: Pao Huang
X: 9.6657 in
Y: 23.2879 in
Layer: Review Comment
Review Type: ECA GeoTech

SEPA check list show there is a document named "Investigation/Feasibility Study/Cleanup Action Plan, April 14, 2021". Please upload it.



Subject: Temporary Active Dewatering
Page Index: 10
Author: Pao Huang
X: 9.6456 in
Y: 24.8140 in
Layer: Review Comment
Review Type: ECA GeoTech

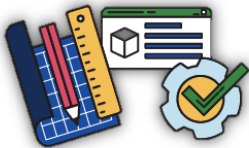
Due to the proposal remedial excavation, please have geotechnical engineer confirm if temporary active dewatering is required.

If yes, please provide conceptual temporary active dewatering plan in the MUP plan set. The plan should indicates, in concept, the planned dewatering methods and dewatering system elements. Please have geotechnical engineer provide an assessment of dewatering impact on adjacent properties based on the conceptual dewatering plan.

*

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

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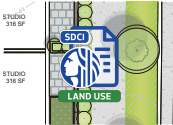
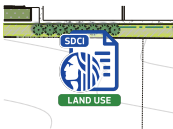

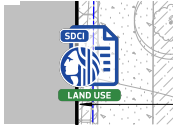

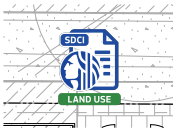
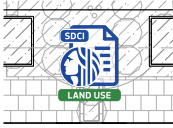
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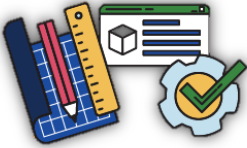


Land Use (48)

<div><div>*</div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 17</div><div>Author: David Sachs</div><div>X: 1.5579 in</div><div>Y: 10.8358 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Increase the scale of ALL landscape plans so that the various planting and hardscape types can be easily seen and differentiated.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 17</div><div>Author: David Sachs</div><div>X: 20.6365 in</div><div>Y: 7.7559 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Provide specific planting types and common names.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 17</div><div>Author: David Sachs</div><div>X: 16.6174 in</div><div>Y: 17.9660 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>This area does not match the architectural siteplan and floor plan. Revise accordingly.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 17</div><div>Author: David Sachs</div><div>X: 8.8125 in</div><div>Y: 20.7499 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Clarify how this landscaping will be maintained and confirm there will be irrigation here to ensure it will survive.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 23</div><div>Author: David Sachs</div><div>X: 23.8360 in</div><div>Y: 13.5790 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Dimension all modulation depths as well as the courtyard widths and depths.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 23</div><div>Author: David Sachs</div><div>X: 30.7046 in</div><div>Y: 14.3767 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Reconcile differenced between the landscape plan and this siteplan. Note this plan does not patch the recess shown at EDG.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 24</div><div>Author: David Sachs</div><div>X: 5.0473 in</div><div>Y: 6.1787 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>Dimension all facade widths, modulation widths and depths, courtyards, walkways, patios, terraces, decks and other architectural features on all floor plans. Include dimensions to property lines.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 24</div><div>Author: David Sachs</div><div>X: 29.8183 in</div><div>Y: 9.8124 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>It appears that the number of steps and the depth of setback has been greatly reduced since EDG 2. Provide rational for this change.</div>
<div><div></div></div>	<div><div>Subject: General Land Use Review Comment</div><div>Page Index: 24</div><div>Author: David Sachs</div><div>X: 23.8804 in</div><div>Y: 19.9158 in</div><div>Layer: Review Comment</div><div>Review Type: Land Use</div></div>	<div>It appears the courtyard has been significantly reduced in length since EDG 2. Provide a rational for this.</div>

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

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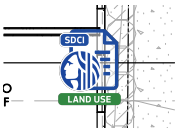


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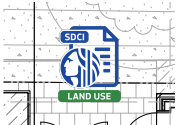
[Codes](#)





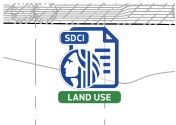
Subject: General Land Use Review Comment
Page Index: 24
Author: David Sachs
X: 32.2555 in
Y: 19.3840 in
Layer: Review Comment
Review Type: Land Use

These three units were shown recessed with landscaping and terraces at EDG 2. Provide rational for the change and how this revised condition better addresses the street frontage.



Subject: General Land Use Review Comment
Page Index: 24
Author: David Sachs
X: 15.0177 in
Y: 9.9010 in
Layer: Review Comment
Review Type: Land Use

The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.



Subject: General Land Use Review Comment
Page Index: 24
Author: David Sachs
X: 10.0933 in
Y: 24.5766 in
Layer: Review Comment
Review Type: Land Use

Provide more information on the property line condition. Will there be retaining walls or a fence, and if so, how will the landscape and light well be accessed?



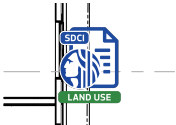
Subject: General Land Use Review Comment
Page Index: 24
Author: David Sachs
X: 4.9970 in
Y: 5.0178 in
Layer: Review Comment
Review Type: Land Use

Provide spot elevations at the corners of the building, at all entrances, patios, terraces, courtyards, top and bottom of light wells and major retaining walls, and any other changes on grade.



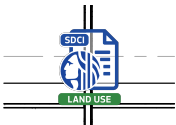
Subject: General Land Use Review Comment
Page Index: 25
Author: David Sachs
X: 14.8892 in
Y: 9.6086 in
Layer: Review Comment
Review Type: Land Use

The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.



Subject: General Land Use Review Comment
Page Index: 25
Author: David Sachs
X: 32.7031 in
Y: 18.6041 in
Layer: Review Comment
Review Type: Land Use

These three units were shown recessed at EDG 2. Provide rational for the change.



Subject: General Land Use Review Comment
Page Index: 26
Author: David Sachs
X: 23.9201 in
Y: 22.0013 in
Layer: Review Comment
Review Type: Land Use

This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.



Subject: General Land Use Review Comment
Page Index: 26
Author: David Sachs
X: 14.8201 in
Y: 11.9311 in
Layer: Review Comment
Review Type: Land Use

This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.



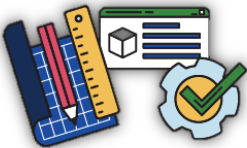
Subject: General Land Use Review Comment
Page Index: 26
Author: David Sachs
X: 14.8858 in
Y: 10.0057 in
Layer: Review Comment
Review Type: Land Use

The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.

*

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

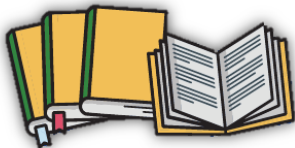
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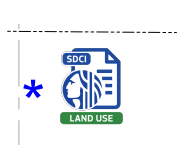
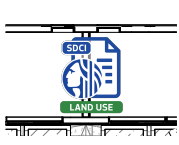

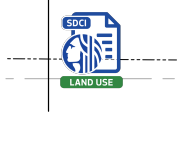

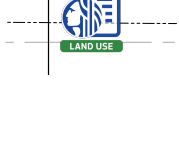
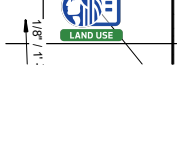

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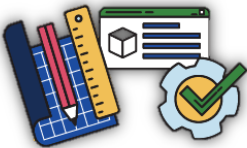
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	<p>Subject: General Land Use Review Comment Page Index: 27 Author: David Sachs X: 20.3353 in Y: 24.7903 in Layer: Review Comment Review Type: Land Use</p>	<p>Clarify if this is a graphic mistake or if Bike parking is intended to be on the roof terrace. Bike storage was not proposed in this location at EDG and does not appear to provide the appropriate weather protection and likely does not meet code. Relocate bike parking to a more appropriate location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 27 Author: David Sachs X: 23.9645 in Y: 21.1150 in Layer: Review Comment Review Type: Land Use</p>	<p>This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 27 Author: David Sachs X: 14.8201 in Y: 11.9311 in Layer: Review Comment Review Type: Land Use</p>	<p>This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 27 Author: David Sachs X: 14.8858 in Y: 10.0057 in Layer: Review Comment Review Type: Land Use</p>	<p>The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.</p>
	<p>Subject: General Land Use Review Comment Page Index: 28 Author: David Sachs X: 23.9645 in Y: 21.1150 in Layer: Review Comment Review Type: Land Use</p>	<p>This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units int this location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 28 Author: David Sachs X: 14.8201 in Y: 11.9311 in Layer: Review Comment Review Type: Land Use</p>	<p>This area was not filled in at EDG 2 and has since been filled in with units. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 28 Author: David Sachs X: 14.8858 in Y: 10.0057 in Layer: Review Comment Review Type: Land Use</p>	<p>The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.</p>
	<p>Subject: General Land Use Review Comment Page Index: 29 Author: David Sachs X: 14.9434 in Y: 12.9347 in Layer: Review Comment Review Type: Land Use</p>	<p>This area was not filled in at EDG 2 and has since been filled in. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.</p>
	<p>Subject: General Land Use Review Comment Page Index: 29 Author: David Sachs X: 14.9210 in Y: 10.7100 in Layer: Review Comment Review Type: Land Use</p>	<p>The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.</p>

* Click on these icons to jump directly to the review comments right where they were placed in the plan set.

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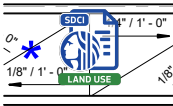
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Subject: General Land Use Review Comment
Page Index: 29
Author: David Sachs
X: 23.9023 in
Y: 21.0271 in
Layer: Review Comment
Review Type: Land Use

This area was not filled in at EDG 2 and has since been filled in. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.



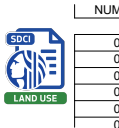
Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 24.2584 in
Y: 22.0334 in
Layer: Review Comment
Review Type: Land Use

This area (levels 3-6) was not filled in at EDG 2 and has since been filled in. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.



Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 24.2312 in
Y: 17.6739 in
Layer: Review Comment
Review Type: Land Use

The width of this recess has been significantly been reduced since EDG 2 from 22'-8" down to 14'-6". Provide a rational how this reduced width responds to guidance and creates a better modulated mass.



Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 28.8234 in
Y: 1.9734 in
Layer: Review Comment
Review Type: Land Use

Expand the material information to include manufacturer, specific color information, trellis and canopy material, and material thickness.



Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 5.2199 in
Y: 16.6216 in
Layer: Review Comment
Review Type: Land Use

Include all panel reveals, concrete chamfer/score lines, mechanical venting, and other elements on ALL elevations.



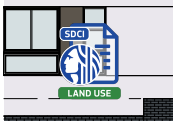
Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 5.2199 in
Y: 15.2704 in
Layer: Review Comment
Review Type: Land Use

Provide a rational for why the roof is not internally drained on a project of this size and describe the design approach to how the downspouts have been intentionally place to either disappear or complement the facade articulation.



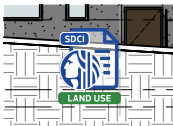
Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 5.2199 in
Y: 14.2006 in
Layer: Review Comment
Review Type: Land Use

Provide architectural details describing the relationship of the various materials to each other and to the windows to show the depth proposed.



Subject: General Land Use Review Comment
Page Index: 30
Author: David Sachs
X: 17.5927 in
Y: 22.9789 in
Layer: Review Comment
Review Type: Land Use

Clarify why the brick datum changes and provide details showing the transition with the fiber cement above.



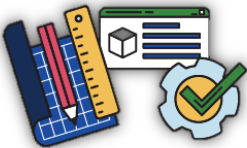
Subject: General Land Use Review Comment
Page Index: 31
Author: David Sachs
X: 12.7630 in
Y: 25.6325 in
Layer: Review Comment
Review Type: Land Use

Accurately show grade and revise the ground plane so that it is clear how the building hits the ground, specifically at all doors and light wells.



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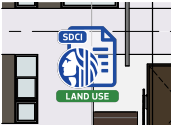
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Subject: General Land Use Review Comment
Page Index: 31
Author: David Sachs
X: 13.4539 in
Y: 22.7704 in
Layer: Review Comment
Review Type: Land Use

Simplify the gutter/downspout design in this area or internalize it so that is is less obvious.



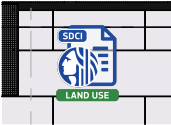
Subject: General Land Use Review Comment
Page Index: 31
Author: David Sachs
X: 15.1351 in
Y: 9.2399 in
Layer: Review Comment
Review Type: Land Use

It is unclear from this elevation how this area is working. Accurately show grade, the exit door, downspout termination, and other elements. Also provide additional information about materials in the recesss.



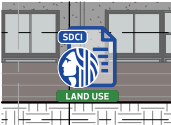
Subject: General Land Use Review Comment
Page Index: 31
Author: David Sachs
X: 18.0691 in
Y: 22.9929 in
Layer: Review Comment
Review Type: Land Use

Clarify if the brick is in plane here and how these materials with transition.



Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 11.3742 in
Y: 22.5294 in
Layer: Review Comment
Review Type: Land Use

The number of screens along this wall has been significantly been reduced since EDG 2. Revise this elevation to include additional screens to adequately address the blank wall.



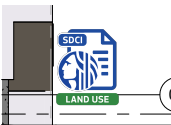
Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 15.1160 in
Y: 25.4635 in
Layer: Review Comment
Review Type: Land Use

Are these windows opening into a light well? Provide additional information on this both in plan and section.



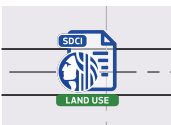
Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 24.3432 in
Y: 25.2110 in
Layer: Review Comment
Review Type: Land Use

Are these windows opening into a light well? Provide additional information on this both in plan and section.



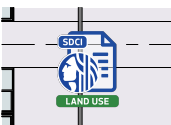
Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 33.2953 in
Y: 24.1241 in
Layer: Review Comment
Review Type: Land Use

Clean up the graphics or resolve the materials in this location.



Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 19.8410 in
Y: 19.5944 in
Layer: Review Comment
Review Type: Land Use

There appears to be a lot of blank wall on this facade. At EDG 2 there was more circulation along this wall that could allow for more fenestration. Include additional fenestration or provide other means such as pattern in the panel reveals of other means to provide interest.

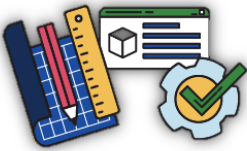


Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 8.6969 in
Y: 19.9064 in
Layer: Review Comment
Review Type: Land Use

Provide more detail on all screens and railings. Include architectural details for all decorative elements including canopies.

* Click on these icons to jump directly to the review comments right where they were placed in the plan set.

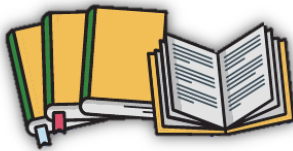
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Subject: General Land Use Review Comment
Page Index: 32
Author: David Sachs
X: 24.5487 in
Y: 20.3068 in
Layer: Review Comment
Review Type: Land Use

This area (levels 4-6) was not filled in at EDG 2 and has since been filled in. This fundamentally changes the perceived height, bulk, and scale of the building. Provide a rational for this change or remove the units in this location.



Subject: General Land Use Review Comment
Page Index: 37
Author: David Sachs
X: 5.5015 in
Y: 9.1364 in
Layer: Review Comment
Review Type: Land Use

Provide clear height dimensions of all canopies, overhangs, or other architectural features.

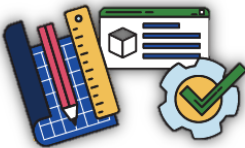


Subject: General Land Use Review Comment
Page Index: 39
Author: David Sachs
X: 0.3470 in
Y: 1.5765 in
Layer: Review Comment
Review Type: Land Use

Based on the extent of substantial changes to the massing since EDG 2, I will not be able to schedule your Recommendation meeting or review a draft packet until we have resolved the issues in this correction and Zoning has completed their review. Once you have had a chance to review all of the Land Use and Zoning corrections, please contact me to set up a meeting. We can discuss next steps at that time.

* Click on these icons to jump directly to the review comments right where they were placed in the plan set.

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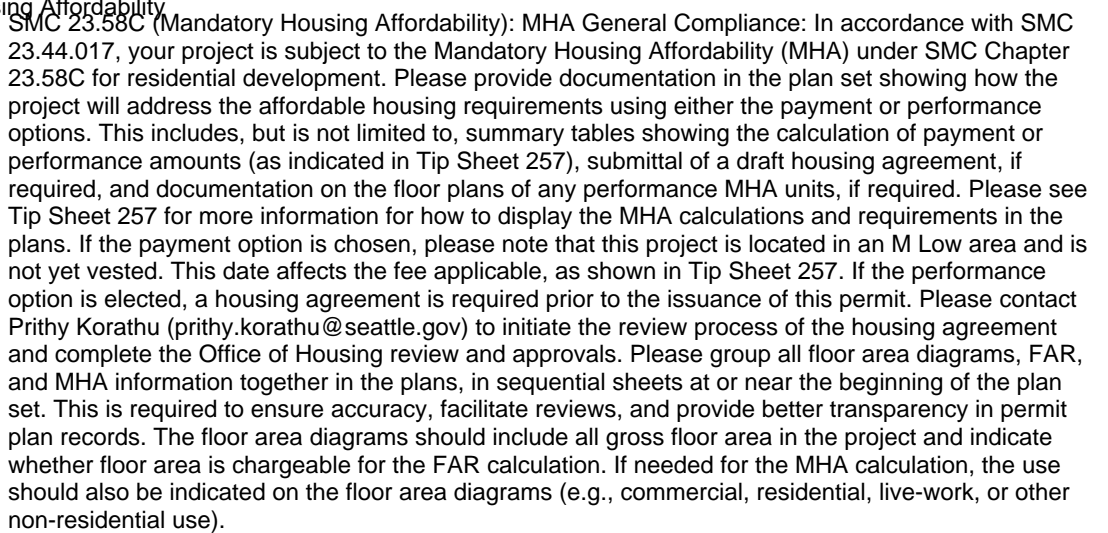
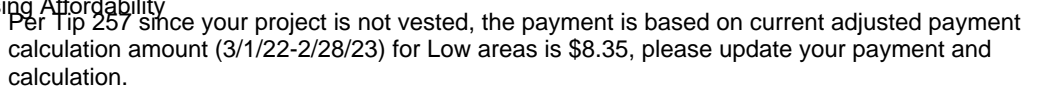
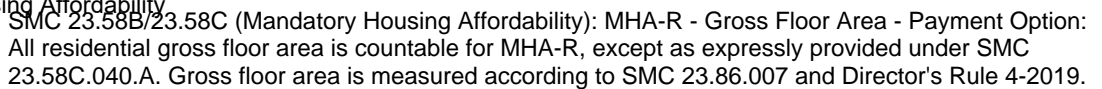
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This is a consolidated summary of all review comments for this review cycle. Please respond to each comment and resubmit this as a response plan set along with your new, updated plans.

MHA (3)



Please clarify if you will only be using payment option.




Helpful info on the permitting process, navigating inspections and city codes:



Transportation DPD (1)

*



TRANSPORTATION DPD

Subject: General Transportation DPD Review Comment

Page Index: 39

Author: Michael Houston

X: 0.5384 in

Y: 4.7863 in

Layer: Review Comment

Review Type: Transportation DPD

The following comments are for the Transportation Impact Analysis (TIA) dated May 2021 by Gibson Traffic Consultants, Inc.:

-p 3: Include a description of planned transportation facilities included in the modal plans (Bicycle, Pedestrian, and Transit) for Rainier Avenue S near the site.

-p 4: The number of proposed residential units is lower than shown in Table 1. The proposal also includes live/work units that may have non-residential trips during peak hours. Please update the trip generation estimate accordingly.

-p A-1: Provide a rationale for the daily trip rate used for Multifamily Midrise vehicle trips that is different than the rate provided in the ITE Trip Generation Manual (1.96 vs. 2.59 trips per unit).

-Provide an estimate of delivery, service, and move-in/out trips. Where are vehicle loading activities expected to occur?

-Provide a 3-year collision history for the site frontages and the signalized intersection of Rainier Avenue S / 52nd Avenue S.

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

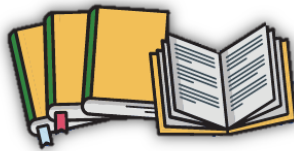
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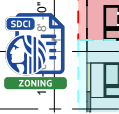


Inspections



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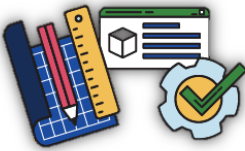


Zoning (18)

	Subject: Zoning – SMC 23.47A – Commercial Page Index: 3 Author: Leslie Orbino X: 3.0988 in Y: 3.2739 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.005 (Street-Level Uses Along Pedestrian Street): At least 80% of the street-level, street-facing must consist of one or more uses outlined under SMC 23.47A.005.D. Show how this requirement is met.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 5 Author: Leslie Orbino X: 22.8021 in Y: 9.7852 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.008 (Blank Facades): Provide a diagram showing how the blank façade standard under SMC 23.47A.008.A.2 is met. Blank façade is measured according to SMC 23.86.028. Please see Exhibit B for 23.86.028 for an example.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 5 Author: Leslie Orbino X: 20.1343 in Y: 9.7852 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.008 (Blank Facades): Provide dimension of this blank facade.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 6 Author: Leslie Orbino X: 14.8402 in Y: 14.0357 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.012 (Structure Height ☐ Certain Rooftop Features): There are certain rooftop features that appear to be using the exceptions under SMC 23.47A.012.C.2. Clearly document on the elevation drawings and section drawings the height limit exceptions and provide information on how the features may exceed the height limit.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 6 Author: Leslie Orbino X: 15.7882 in Y: 14.0523 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.012 (Structure Height ☐ Roof Coverage): Provide a roof coverage diagram and calculations showing how the feature exceeding the height limit under SMC 23.47A.012.C.4 meets the exception.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 7 Author: Leslie Orbino X: 3.5986 in Y: 9.1169 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.013 (Floor Area Ratio (FAR)): Please add more detail to diagrams. Include a matrix and areas to verify calculations. See example.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 8 Author: Leslie Orbino X: 21.4054 in Y: 5.3198 in Layer: Review Comment Review Type: Zoning	Departure Noted, if departure not granted, then requirement needs to be met. SMC 23.47A.014 (Setback Requirements): Abutting or Across the Alley from Residential Zones: This project's lot abuts or is across the alley from a residential zone. Therefore, the requirements of SMC 23.47A.014.B.1 apply. Please revise the plans accordingly.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 8 Author: Leslie Orbino X: 16.6826 in Y: 8.5895 in Layer: Review Comment Review Type: Zoning	SMC 23.47A.014 (Setback Requirements): Upper-Level Setback: This project's lot abuts rear or side lot line abuts a lot in an LR, MR, or HR zone. Therefore, an upper-level setback is required in accordance with SMC 23.47A.014.B.2. Please revise the plans accordingly.
	Subject: Zoning – SMC 23.47A – Commercial Page Index: 8 Author: Leslie Orbino X: 21.4301 in Y: 3.8218 in Layer: Review Comment Review Type: Zoning	Please also provide departure matrix that has requirement and what you are departing from, then the approval.

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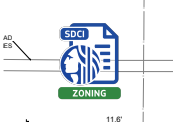


6 *



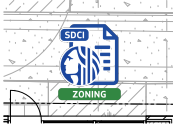
Subject: Zoning – SMC 23.47A – Commercial
Page Index: 9
Author: Leslie Orbino
X: 33.5420 in
Y: 9.6018 in
Layer: Review Comment
Review Type: Zoning

Once GFA is confirmed after updating FAR calculations, I can confirm GSF for amenity area is correct.



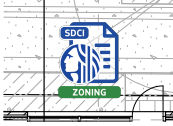
Subject: Zoning – SMC 23.47A – Commercial
Page Index: 21
Author: Leslie Orbino
X: 9.1773 in
Y: 11.6538 in
Layer: Review Comment
Review Type: Zoning

SMC 23.47A.016.B (Street Trees): Please provide approval from SDOT for street trees.



Subject: Zoning – SMC 23.47A – Commercial
Page Index: 24
Author: Leslie Orbino
X: 13.0242 in
Y: 9.6382 in
Layer: Review Comment
Review Type: Zoning

SMC 23.47A.008 (Depth): Provide a diagram of how the depth provisions under SMC 23.47A.008.B.3 for the street-level non-residential uses are met.



Subject: Zoning – SMC 23.47A – Commercial
Page Index: 24
Author: Leslie Orbino
X: 7.1137 in
Y: 9.6670 in
Layer: Review Comment
Review Type: Zoning

SMC 23.47A.008 (Live-Work): The proposed live-work unit is located on the street-level, street-facing façade. Please show how development standards of 23.47A.008.E is being met (1-4).



Subject: Zoning – SMC 23.54 – Parking, Access, and Solid Waste
Page Index: 2
Author: Leslie Orbino
X: 27.0289 in
Y: 4.3308 in
Layer: Review Comment
Review Type: Zoning

SMC 23.54.040 (Waste and Recycling): General Compliance: This project is subject to waste and recycling requirements under SMC 23.54.040. Specifically, show compliance with SMC 23.54.040.A, 23.54.040.D, 23.54.040.E, 23.54.040.F, 23.54.040.G, and 23.54.040.H.



Subject: Zoning – SMC 23.54 – Parking, Access, and Solid Waste
Page Index: 2
Author: Leslie Orbino
X: 27.0620 in
Y: 5.5392 in
Layer: Review Comment
Review Type: Zoning

SMC 23.54.040 (Waste and Recycling): SPU Checklist: Please contact Seattle Public Utilities (SPU) Solid Waste for review of the proposed trash and recycling configuration. Submit a checklist and site plan detailing solid waste storage and access to SPU_SolidWastePlanReview@seattle.gov. Provide written confirmation of approval from SPU Solid Waste. SPU plan approval will be required in order to obtain zoning approval.



Subject: Zoning – SMC 23.54 – Parking, Access, and Solid Waste
Page Index: 2
Author: Leslie Orbino
X: 27.1447 in
Y: 7.3601 in
Layer: Review Comment
Review Type: Zoning

SMC 23.54.015 (Required Parking): Bike Parking Quantity: Please provide bike parking per Table D for 23.54.015. Please refer to 23.54.015.K for rounding.



Subject: Zoning – SMC 23.54 – Parking, Access, and Solid Waste
Page Index: 2
Author: Leslie Orbino
X: 27.1282 in
Y: 8.6181 in
Layer: Review Comment
Review Type: Zoning

SMC 23.54.015 (Required Parking): Bike Parking Location: Please indicate the location of proposed bike parking on the plans.



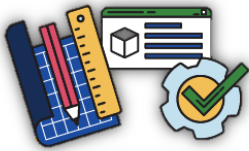
Subject: Zoning – SMC 23.54 – Parking, Access, and Solid Waste
Page Index: 2
Author: Leslie Orbino
X: 27.1282 in
Y: 9.7272 in
Layer: Review Comment
Review Type: Zoning

SMC 23.54.015 (Required Parking): Bike Parking Performance Standards: Ensure that bike parking meets the performance standards under SMC 23.54.015.K.2. See Director's Rule 6-2020 for additional guidance.

*

Click on these icons to jump directly to the review comments right where they were placed in the plan set.

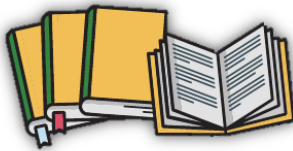
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Applicant Instructions

You will not be able to upload corrected plans until all reviews are completed and the project's review status is "Corrections Required".

*** Respond by providing **a written response to each correction AND identify changes to drawings since initial review.** ***

Drawings shall be **legible**, with sheets **oriented correctly**, on an appropriate **sheet size**, with all revisions/changes **clouded or circled**, with **no missing sheets**, and uploaded in a **single PDF file**.

Link for detailed steps: ["How to Respond to a Correction Notice"](#). If the 3-step process outlined in this document is not followed, your response could be **rejected**, permit issuance could be **delayed**, and **penalty fees** could be assessed.

